



VERMONT

State of Vermont
Policy, Planning & Intermodal Development Division
Policy, Planning and Research Bureau
Development Review & Permitting Services Section

Agency of Transportation

One National Life Drive
Montpelier, VT 05633-5001
vtrans.vermont.gov

[phone] 802-828-2653
[fax] 802-828-2456
[ttd] 800-253-0191

July 18, 2017

Windham And Windsor Housing Trust
Peter Paggi
68 Birge Street
Brattleboro, VT 05363

Subject: Putney, Putney State Highway (PSH), L.S. 9+95 ~ 13+00 RT
Construction of a Private Way (Newman Lane) off a Limited Access Highway

Dear Mr. Paggi:

Your application for a permit to work within the State Highway right-of-way to construct an access off the Putney State Highway (a/k/a Putney Landing Road), a limited access highway, to serve an 18-unit multi-family residence has been processed by this office and is enclosed. Work under this permit also includes associated grading, tree clearing for the access road and utility construction, connection to a drop inlet at L.S. 12+10 RT, stormwater discharge pipes at L.S. 9+95 RT and 11+65 RT, connection to the municipal water main at L.S. 11+80 RT and revegetation and tree planting along the northern slope of the access drive.

As a condition of this permit, the Permit Applicant is required to provide an Appraisal Report assessing the fair market value (FMV) of the benefit of breaking limited access highway. This appraisal report must be prepared by a VTrans approved appraiser, and written in compliance with the VTrans Right of Way Manual, Chapter 3, "Appraisal". This Appraisal Report must be reviewed and approved by the VTrans Right of Way Appraisal Unit or Right of Way Chief. The Permit Applicant's appraiser shall complete this report and any required revisions within 60-days of this permit issuance date, unless otherwise extended by VTrans. Upon approval of the Appraisal Report and any subsequent revisions, the assessed FMV shall be paid, in-full, to the State of Vermont within 30-days of notification of its acceptance. Failure to complete the report and make full payment shall result in the revocation of the access off Putney State Highway (PSH) issued under this permit. Any work done within the highway right-of-way, for the construction of the access off PSH, shall be removed and the lands fully restored to their original condition immediately upon notification from VTrans.

Please contact the District Transportation Office #2 prior to starting work in the state highway right-of-way. The telephone number in Dummerston is (802) 254-5011.

Sincerely,

Theresa Gilman
Permitting Services Supervisor
Permitting Services Section

Enclosures

cc: District Transportation Office #2
Matt Moore, Housing Vermont
Cynthia Stoddard, Town of Putney
District Environmental Coordinator #2 [via E-mail]
Windham Regional Commission
Matthew Hake, Vermont Division Administrator, Federal Highway Administration

PERMIT ID# 41257

FOR AGENCY USE ONLY
Town: PUTNEY
Route: PUTNEY STATE HWY (PSH)
Mile Marker: 0.19 - 0.25
Log Station: 9+95 - 13+00 RT

VERMONT AGENCY OF TRANSPORTATION
State Highway Access and Work Permit

Owner's/Applicant's Name, Address, E-mail & Phone No. Windham & Windsor Housing Trust, Inc. 68 Birge Street, Brattleboro, Vermont 05301. (802) 254-4604 Contact: Peter Paggi - ppaggi@w-wht.org

Co-Applicant's Name, Address, E-mail & Phone No. (if different from above) Housing Vermont, 100 Bank Street, Suite 400, Burlington, Vermont 05401 (802) 863-8425 Contact: Matt Moore - matt@hvt.org

The location of work (town, highway route, distance to nearest mile marker or intersection & which side)
Putney, Putney Landing road, 0.2 miles northwest of I-91 North, Exit 4.

Description of work to be performed in the highway right-of-way (attach plan) Provide driveway access to apartments on east side of Putney Landing Road. Tree clearing along roadway, tap into existing waterline. Provide walkway between Building A and Buliding B to intersection of Curtis BBQ parking.

Property Deed Reference Book: 82 Page: 174 (only required for Permit Application for access)

Fee \$ 250 (fees do not apply for residential or agricultural purposes)

Is a Zoning Permit required? Yes No - If Yes, # DRB-2016-07

Is a 30 VSA § 248 permit required? Yes No - If Yes, # _____

Is an Act 250 permit required? Yes No - If Yes, # _____

Other permit(s) required? Yes No - If Yes, name and # of each Permit to Construct, WW Permit

Date applicant expects work to begin _____ 20__

Owner/Applicant: Peter Paggi Position Title: Director Housing Development

(Print name above)

Sign in Shaded area: [Signature] Date: 8/30/16

Co-Applicant: KATHY BEVER Position Title: VP Development, HOUSING VERMONT

(Print name above)
[Signature]

Sign in Shaded area: [Signature] Date: 8.29.16

INSTRUCTIONS:

-Contact the Development Review and Permitting Services Section (802.828.2653) or your local area Transportation Maintenance District Office to determine your issuing authority. The issuing authority will determine what plans, fee and other documents are required to be submitted with your Vermont Statutes Annotated, Title 19, Section 1111, permit application request.

- **Original signatures are required on an original Form.** The Owner/Applicant and Co-Applicant (if applicable) declares under the pains and penalty of perjury that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

FEE:

-See Fee Schedule for applicable administrative processing and application review fee.

PERMIT APPROVAL

This covers only the work described below: Permission is granted to work within the state highway right-of-way to construct an access off the Putney State Highway (a/k/a Putney Landing Road), a limited access highway, to serve an 18-unit multi-family residence. Work under this permit also includes associated grading, tree clearing for the access road and utility construction, connection to a drop inlet at L.S. 12+10 RT, stormwater discharge pipes at L.S. 9+95 RT and 11+65 RT, connection to the municipal water main at L.S. 11+80 RT and revegetation and tree planting along the northern slope of the access drive. All work shall be in accordance with the attached plans, standards and special conditions.

The work is subject to the restrictions and conditions on the reverse page, plus the Special Conditions stated on the attached page(s).

Date work is to be completed December 1, 2018

Date work accepted: _____

By [Signature] Issued Date July 18, 2017
Authorized Representative for
Secretary of Transportation

By: _____
DTA or Designee

NOTICE: This permit covers only the Vermont Agency of Transportation's jurisdiction over this highway under Vermont Statutes Annotated, Title 19, Section 1111. It does not release the petitioner from the requirements of any other statutes, ordinances, rules or regulations. This permit addresses only access to, work within, and drainage affecting the state highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

No work shall be done under this permit until the owner/applicant has contacted the District Transportation Office at:

District #2. (802) 254-5011

July 1, 2016 (All previously dated editions are not valid)

Applicant to Complete

RESTRICTIONS AND CONDITIONS

DEFINITIONS:

"Agency" means the Vermont Agency of Transportation (a/k/a VTrans).

"Engineer" means the authorized agent of the Secretary of Transportation.

"Owner/Applicant" means the party(s) to whom the permit is to be issued.

"Co-Applicant" means the party who performs the work, if other than Owner/Applicant or a secondary Owner/Applicant under a joint permit application.

"Permit Holder" means the party who currently owns the lands abutting the highway that are the subject of the permit.

GENERAL:

By accepting this permit, or doing any work hereunder, the Owner/Applicant agrees to comply with all of the restrictions and conditions and any imposed special conditions. If the Owner/Applicant is aggrieved by the restrictions and conditions or special conditions of the permit, they shall submit a written request for consideration to the Engineer within 30-days of permit issuance and prior to starting any work. No work will be authorized by the Agency, or performed under the permit, until the dispute is fully resolved.

Vermont Statutes Annotated, Title 30, Chapter 86 ("Dig Safe") requires notice to Dig Safe before starting excavation activities. The Permit Holder or his/her contractor must telephone Dig Safe at 811 at least 48 hours (excluding Saturdays, Sundays and legal holidays) before, but not more than 30 days before, starting excavation activities at any location. In addition, please note that the Agency and many municipalities are not members of Dig Safe and will need to have their utility facilities investigated with due diligence prior to starting excavation activities in or on the State Highway right-of-way.

The Permit Holder is to have a supervisory representative present any time work is being done in or on the State Highway right-of-way. A copy of this permit and Special Conditions must be in the possession of the individual performing this work for the Permit Holder.

Except with the specific, written permission of the District Transportation Administrator, all work in the State Highway right-of-way shall be performed during normal daylight hours and shall cease on Sunday, on all holidays (which shall include the day before and the day following), during or after severe storms, and between December 1 and April 15. These limitations will not apply for the purposes of maintenance, emergency repairs, or proper protections of the work which includes, but not limited to, the curing of concrete and the repairing and servicing of equipment.

The Owner/Applicant shall be responsible for all damages to persons or property resulting from any work done under this permit, even if the Applicant's Contractor performs the work. All references to the Owner/Applicant also pertain to the Co-Applicant.

The Owner/Applicant must comply with all federal and state statutes or regulations and all local ordinances controlling occupancy of public highways. In the event of a conflict, the more restrictive provision shall apply.

The Owner/Applicant must, in every case where there is a possibility of injury to persons or property from blasting, use a pre-approved Blasting Plan. All existing utility facilities shall be protected from damage or injury.

The Owner/Applicant shall erect and maintain barriers needed to protect the traveling public. The barriers shall be properly lighted at night and must be MUTCD (Manual on Uniform Traffic Control Devices) compliant.

All temporary and permanent traffic control measures and devices shall be MUTCD compliant.

The Owner/Applicant shall not do any work or place any structures or obstacles within the State Highway right-of-way, except as authorized by this permit.

The Owner/Applicant may pay the entire cost of the salary, subsistence and traveling expenses of any inspector appointed by the Engineer to supervise such work.

The Engineer may modify or revoke the permit at any time for safety-related reasons, without rendering the Agency or the State of Vermont liable in any way.

In addition to any other enforcement powers that may be provided for by the law, the Engineer may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Engineer may physically close the work area and take corrective action to protect the safety of the highway users.

The Permit Holder shall be responsible to rebuild, repair, restore and make good all injuries or damage to any portion of the highway right-of-way that has been brought about by the execution of the permitted work, for a minimum period of eighteen (18) months after final inspection by the District.

Any approved variance from the permitted plans is to be recorded on "as-builts" with copies provided to both the Chief of Permitting Services and the District Transportation Administrator.

ACCESS:

This permit (if for access) does not become effective until the owner/applicant records in the office of the appropriate municipal clerk, the attached "Notice of Permit Action"

As development occurs on land abutting the highways, the Agency may revoke a permit for access and require the construction of other access improvements such as the combination of access points by adjoining owners.

Under Vermont Statutes Annotated, Title 19, Section 1111, no deed purporting to subdivide land abutting a state highway can be recorded unless all the abutting lots so created are in accordance with the standards of Section 1111.

The Permit Holder acknowledges and agrees that neither this permit nor any prior pattern of use creates an ownership interest or other form of right in a particular configuration or number of accesses to or through the highway right-of-way, and that the right of access consists merely of a right to reasonable access the general system of streets, and is not a right to the most convenient access or any specific configuration of access.

DRAINAGE:

The Owner/Applicant shall install catch basins and outlets as may be necessary, in the opinion of the Engineer, to preclude interference with the drainage of the state highway. Direct connections shall not be allowed without written approval.

UTILITY WORK; CUTTING AND TRIMMING TREES:

The Owner/Applicant shall obtain the written consent of the adjoining owners or occupants or, in the alternative, an order from the State Transportation Board in accordance with, Vermont Statutes Annotated, Title 30, Section 2506, regarding cutting of or injury to trees.

In general, all utilities shall be located adjacent to the State Highway right-of-way boundary line and shall be installed without damaging the highway or the highway right-of-way. No pole, push-brace, guy wire or other aboveground facilities shall be placed closer than 10 feet to the edge of traveled-way. If the proposed utility facilities are in conflict with the above, each location is subject to the approval of the Engineer.

Poles and appurtenances shall be located out of conflict with intersection sight distance, guardrail, ditches, signs, culverts, etc.

Where the cutting or trimming of trees is authorized by permit, all debris resulting from such cutting and trimming shall be removed from the State Highway right-of-way.

Open cut excavation for highway crossings is NOT the option of the Applicant, and may be utilized only where attempted jacking, drilling, or tunneling methods fail or are impractical. The Owner/Applicant shall obtain an appropriate modification of the highway permit from the Engineer before making an open cut.

JOINT PERMITS:

A joint permit application is required when more than one party will be involved with the construction, maintenance, and/or operation of the facility being constructed under this permit. Examples include, but are not limited to, joint ownership or occupancy of a utility pole line and construction of a municipal utility line by a contractor. Both utility companies, and in the second case, the municipality and the contractor, must be joint applicants.

SPECIAL CONDITIONS

As a condition of this permit, the Permit Applicant is required to provide an Appraisal Report assessing the fair market value (FMV) of the benefit of breaking limited access highway. This appraisal report must be prepared by a VTrans approved appraiser, and written in compliance with the VTrans Right of Way Manual, Chapter 3, "Appraisal". This Appraisal Report must be reviewed and approved by the VTrans Right of Way Appraisal Unit or Right of Way Chief. The Permit Applicant's appraiser shall complete this report and any required revisions within 60-days of this permit issuance date, unless otherwise extended by VTrans. Upon approval of the Appraisal Report and any subsequent revisions, the assessed FMV shall be paid, in-full, to the State of Vermont within 30-days of notification of its acceptance. Failure to complete the report and make full payment shall result in the revocation of the access off Putney State Highway (PSH) issued under this permit. Any work done within the highway right-of-way, for the construction of the access off PSH, shall be removed and the lands fully restored to their original condition immediately upon notification from VTrans.

This permit is granted subject to the restrictions and conditions on the back of the permit, with particular attention given to the Special Conditions listed below. This permit pertains only to the authority exercised by the Vermont Agency of Transportation (Agency) under Vermont Statutes Annotated, Title 19, Section 1111, and does not relieve the Permit Holder from the requirements of otherwise applicable statutes, rules, regulations or ordinances (e.g., Act 250, zoning, etc.). The Permit Holder shall observe and comply with all Federal and State laws and local bylaws, ordinances, and regulations in any manner affecting the conduct of the work and the action or operation of those engaged in the work, including all orders or decrees as exist at present and those which may be enacted later by bodies or tribunals having jurisdiction or authority over the work, and the Permit Holder shall defend, indemnify, and save harmless the State and all its officers, agents, and employees against any claim or liability arising from or based on the violation of any such law, bylaws, ordinances, regulations, order, or decree, whether by the Permit Holder in person, by an employee of the Permit Holder, by a person or entity hired by the Permit Holder, or by a Subcontractor or supplier.

The Permit Holder shall accomplish all work under this permit in accordance with Detail C and the profile and notes of standard drawing B-71(copy attached) and the attached plans sheets C-1 to C-9, dated March 15, 2017 and sheet L-1 to L-2, dated January 18, 2017 and the plan entitled, VTrans Highway Access, dated April 5, 2017. **Any revisions to these plans prior to or during construction shall be submitted and approved by the Agency prior to construction within the State highway right-of-way.**

A preconstruction meeting to discuss work to be completed must be held prior to the Permit Holder's employees or contractor beginning work. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such meeting.

Please note that the Vermont Agency of Transportation is not a member of Dig Safe. The Permit Holder shall also contact Steve Guyette (802) 343-2188. Mr. Guyette will need to locate and mark all existing buried utility facilities owned by the Agency near the location of the proposed work.

Roadway shoulder areas must be maintained free of unnecessary obstructions, including parked vehicles, at all times while work is being performed under this permit.

All grading within the State Highway right-of-way associated with the proposed construction shall be subject to inspection and approval by the District Transportation Administrator or his or her staff. The Permit Holder shall be responsible for ensuring that all grading work in or on the State Highway right-of-way complies with applicable statutes, rules, regulations or ordinances.

In areas to be grass covered, the Permit Holder shall restore turf by preparing the area and applying the necessary topsoil, limestone, fertilizer, seed, and mulch, all to the satisfaction of the District Transportation Administrator. The Permit Holder shall be responsible for ensuring that all turf restoration work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

The placement, size, shape, and color of all pavement markings and signage within the State right-of-way must be in accordance with the most recent editions of the MUTCD (Manual on Uniform Traffic Control Devices) and Vermont standards.

The Permit Holder shall replace any disturbed State property bounds. These bounds must be reset by a land surveyor licensed in the State of Vermont.

Upon completion of the work, the Permit Holder shall be responsible to schedule and hold a final inspection. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such inspection.

This permit does not become effective until the Permit Holder records, in the office of the appropriate municipal clerk, the attached "Notice of Permit Action".

The access at L.S. 11+88 RT (Newman Lane, a private way) will serve as the only access to this property and to any future subdivisions of this property unless approved otherwise by the Agency. A secondary, emergency access may be developed off the town highway, Old Depot Road (TH 58); this is not a through road. The Permit Holder is required to allow a connection and to grant an associated right to pass between the access and adjoining properties (in the future) that will result in a combination of accesses to serve more than one property or lot. By issuance of this permit, the Agency revokes all previous permits for access to this property.

The access must be constructed in such a manner as to prevent water from flowing onto the State Highway. If the access is not constructed satisfactorily, the District Transportation Administrator can order reconstruction of the access at the Permit Holder's expense.

A new "Vermont Agency of Transportation approved" culvert shall be placed under the access. The size shall be 18 inches in diameter; this culvert is directly connected to an existing drop inlet at L.S. 12+10 RT. The culvert shall be placed so that existing normal drainage flow is undisturbed and ponding is not created. **The Permit Holder may have to excavate the roadside drainage ditch to accommodate the required culvert and extend ditching along the State right-of-way, as deemed necessary by the District Transportation Administrator to ensure positive and free flowing drainage.** Culvert location shall be staked, reviewed and approved by the District Transportation Administrator prior to installation. There shall be no headwalls allowed within the State Highway right-of-way on the ends of drive culverts.

In the event traffic from this project increases to the point where traffic signals, additional lanes for turning or any other modifications are necessary, the Permit Holder shall bear the expense of such improvements or facilities. The Agency may require the Permit Holder to update or provide a traffic study to determine if additional modifications are necessary.

The Permit Holder is responsible for access maintenance (**beyond the edge of paved shoulder**). "Access maintenance" will include, but not be limited to, the surface of the access, the wooden guardrail along the drive, signage for the private drive, the replacement and maintenance of the culvert, as necessary, the trimming of vegetation, and the removal of snow banks, to provide corner sight distance.

In conformance with Vermont Statutes Annotated, Title 19, Section 1111(f), the Agency may eliminate this access in the future where development has burdened the highway system to such an extent that a frontage road or other access improvements (which may serve more than one property or lot) must be constructed to alleviate this burden. The Permit Holder shall bear the expense of the frontage road or other access improvements. The Agency shall determine the need of a frontage road or other improvements based upon and justified by standard Agency procedures.

The Permit Holder shall pave the access (drive) from the edge of paved shoulder to the State Highway right-of-way.

In the event of the Permit Holder's failure to complete all the work, approved under this permit, by the "work completion date," the Agency, in addition to any other enforcement powers that may be provided for by law, may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Agency may physically close the driveway or access point if, in the Agency's opinion, safety of highway users is or may be affected.

Should any portion of the utility facility installed within the State Highway right-of-way require relocation (e.g. stormwater drainage pipes) due to future highway improvements, the Permit Holder shall bear all expenses, and all necessary adjustments shall be completed in a timely manner.

The Permit Holder must backfill all open trenches or pits at the end of each day. With permission from the District Transportation Administrator, trenches or pits may be left open for short periods of time if properly protected. In no case shall trenches or pits be left open over a weekend. The Permit Holder shall be responsible for ensuring that all trench or pit work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

The Permit Holder shall promptly and unconditionally pay for full repair and restoration of any and all damages to existing underground utility facilities (meaning any underground pipe, conduit, wire or cable, including appurtenances) that have been brought about by the execution of the permitted work. The Permit Holder also is required to pay for any costs to repair the highway following and resulting from any repairs to existing utilities occurring as a result of the work covered by this permit. Except with the specific, written permission of the Engineer, the Permit Holder or his or her contractor shall expose all underground facilities to verify their location and depth, at each location where the authorized boring or drilling work crosses a facility; and at reasonable intervals when closely paralleling a facility. Whenever possible, existing facilities should be crossed at a perpendicular angle. The Permit Holder shall be responsible for obtaining the modification of this permit, if necessary, for any additional survey work before initiating boring or drilling operations under the permit. The Agency will treat the Permit Holder's failure to fully, promptly, and conscientiously comply with all of conditions of this paragraph, including but not limited to the obligation to pay for repairs, as grounds for the Agency to refuse to grant any further requests by the Permit Holder for any other permits for subsurface work unless the Permit Holder furnishes irrevocable financial security, in a type and an amount deemed sufficient by the Agency in its sole discretion, prior to such future subsurface work.

This permit approves the connection of the Permit Holder's stormwater management system to the Agency's State Highway stormwater management system. The Permit Holder's is permitted to connect with the Agency's drop inlet on the Putney State Highway (PSH) at Log Station (L.S.) 12+10 RT and extend an 18-inch culvert to a stone outfall pad at L.S. 11+65 RT. Also approved is a 15-inch discharge pipe to the stone outfall pad at L.S. 11+65 RT and a 15-inch discharge pipe to a stone outfall pad at L.S. 9+95 RT. The Permit Holder shall be responsible for the maintenance and/or replacement of these stormwater discharge pipes within the State right-of-way. If problems occur at the discharge points, the Permit Holder shall repair and restore any damage in the State right-of-way as deemed appropriate by the District Transportation Administrator.

This permit only authorizes the Permit Holder's stormwater discharge from the defined area approved by the Agency and specified in the Permit Holder's application. The Permit Holder shall not connect (or allow the connection of) non-stormwater drainage systems, such as floor drains, to the stormwater management system that discharges to the Agency's stormwater management system.

All stormwater from the defined area approved by the Agency to discharge into the State Highway right-of-way shall be pre-treated (to the maximum extent practicable on the Permit Holder's land) for water volume, velocity, and quality prior to discharging into the Agency's stormwater management system.

The Permit Holder shall erect and maintain all necessary site erosion prevention and sediment control measures to maintain compliance with Vermont Water Quality Standards within the State Highway right-of-way. All exposed earth areas having erosion potential must be temporarily or permanently stabilized within seven (7) days of disturbance or as necessary to prevent sediment from entering the Agency's State Highway stormwater management system. Slopes steeper than 1:3 shall make use of appropriate erosion matting.

By acceptance of this permit, the Permit Holder agrees to defend, hold harmless and indemnify the Agency, the State of Vermont, and their officers and employees from and against all claims arising out of connections of the Permit Holder's stormwater management system to the Agency's State Highway stormwater management system.

This permit authorizes only the discharge of stormwater runoff to the Agency's stormwater management system with the following exemptions:

- water line flushing or other potable water sources,
- landscape irrigation or lawn watering,
- rising ground water,
- ground water infiltration to storm drains,
- air conditioning condensation,
- fire fighting activities.

The Permit Holder shall notify the Agency of any planned development or facility expansions or changes that may result in new or increased stormwater discharges. The Agency may require the Permit Holder to submit additional information on the proposed changes. The Agency may amend this permit and authorization to discharge, by requiring that the Permit Holder add to or modify, or may require the Permit Holder to seek a discharge point other than the State Highway right-of-way and the Agency's stormwater management system.

Two-way traffic shall be maintained at all times unless permission is granted from the District Transportation Administrator. Whenever two-way, one-lane controlled traffic is authorized to be maintained by the Applicant's Contractor, **the traveling public shall not be delayed more than 10 minutes.**

The Permit Holder shall verify the appropriate safety measures needed, prior to construction, so proper devices and/or personnel are available when and as needed. Traffic control devices, shall be in conformance with the MUTCD (Manual on Uniform Traffic Control Devices), Agency standards and any additional traffic control deemed necessary by the District Transportation Administrator. The Permit Holder's failure to utilize proper measures shall be considered sufficient grounds for the District Transportation Administrator to order cessation of the work immediately.

The Permit Holder will perform construction in such a way as to minimize conflicts with normal highway traffic. When two-way traffic cannot be maintained, the Permit Holder shall provide a sign package that conforms to the MUTCD (Manual on Uniform Traffic Control Devices) or Agency standards, as well as trained Flaggers. The District Transportation Administrator may require a similar sign package with trained Flaggers whenever it is deemed necessary for the protection of the traveling public. In addition, the District Transportation Administrator may require the presence of Uniform Traffic Officers (UTOs); moreover, the presence of UTOs shall not excuse the Permit Holder from its obligation to provide the sign package and Flaggers.

When traffic control becomes so complex that the traffic control cannot be accomplished using Agency standards, the Permit Holder must submit a traffic control plan to the Agency's Permitting Services office for Agency approval prior to beginning work.

The Permit Holder shall ensure that all workers exposed to the risks of moving highway traffic and/or construction equipment wear high-visibility safety apparel meeting the requirements of ISEA (International Safety Equipment Association) "American National Standards for High-Visibility Safety Apparel," and labeled as ANSI (American National Standards Institute) 107-2004, or latest revisions, for Performance Class 2 or 3 requirements. A competent person - one designated by the Permit Holder's Contractor to be responsible for worker safety within the activity area of the State highway right-of-way -shall select the appropriate class of garment. The Engineer may suspend this permit until compliance is obtained.

As the utility operation moves, flagger signs shall be moved accordingly. At no time should the flagger symbol sign be more than 1,000 feet from the flagger station. Flagger signs shall be covered or turned away from traffic when flagging operations cease for longer than 15 minutes.

Independence; Liability: The Permit Holder will act in an independent capacity and not as officers or employees of the State.

The Permit Holder shall defend the State and its officers and employees against all claims or suits arising in whole or in part from any act or omission of the Permit Holder or of any agent of the Permit Holder. The State shall notify the Permit Holder in the event of any such claim or suit, and the Permit Holder shall immediately retain counsel and otherwise provide a complete defense against the entire claim or suit.

After a final judgment or settlement, the Permit Holder may request recoupment of specific defense costs and may file suit in the Washington Superior Court requesting recoupment. The Permit Holder shall be entitled to recoup costs only upon a showing that such costs were entirely unrelated to the defense of any claim arising from an act or omission of the Permit Holder.

The Permit Holder shall indemnify the State and its officers and employees in the event that the State, its officers or employees become legally obligated to pay any damages or losses arising from any act or omission of the Permit Holder.

Insurance: Before beginning any work under this Permit the Permit Holder must provide certificates of insurance to show that the following minimum coverages are in effect. It is the responsibility of the Permit Holder to maintain current certificates of insurance on file with the State for the duration of work under the Permit. No warranty is made that the coverages and limits listed herein are adequate to cover and protect the interests of the Permit Holder for the Permit Holder's operations. These are solely minimums that have been established to protect the interests of the State.

Workers' Compensation: With respect to all operations performed under the Permit, the Permit Holder shall carry workers' compensation insurance in accordance with the laws of the State of Vermont.

General Liability and Property Damage: With respect to all operations performed under the Permit, the Permit Holder shall carry general liability insurance having all major divisions of coverage including, but not limited to:

Premises - Operations
Products and Completed Operations
Personal Injury Liability
Contractual Liability

The policy shall be on an occurrence form and limits shall not be less than:

\$2,000,000 Per Occurrence
\$2,000,000 General Aggregate
\$2,000,000 Products/Completed Operations Aggregate
\$ 50,000 Fire/Legal Liability

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

Automotive Liability: The Permit Holder shall carry automotive liability insurance covering all motor vehicles, including hired and non-owned coverage, used in connection with the Permit. Limits of coverage shall not be less than: \$1,000,000 combined single limit.

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

VERMONT AGENCY OF TRANSPORTATION
NOTICE OF PERMIT ACTION

Grantor (Owner/Applicant): WINDHAM AND WINDSOR HOUSING TRUST
Address: Street: 68 BIRGE STREET
City/State/ZIP: BRATTLEBORO, VT 05363

Location of Work:

<u>Location</u>	
Town:	PUTNEY
Route:	PUTNEY STATE HIGHWAY (PSH)
Log Station/MM:	L.S. 9+95 ~ 13+00 / MM 0.19 + 0.25

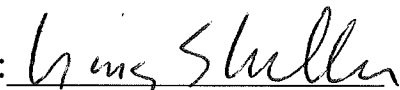
Property Deed Reference: Book: 82 Page: 174

Permit ID #: 41257

Description of Work: CONSTRUCT AN ACCESS OFF PUTNEY STATE HIGHWAY (a/k/a PUTNEY LANDING ROAD), A LIMITED ACCESS HIGHWAY, TO SERVE AN 18-UNIT MULTI-FAMILY RESIDENCE. WORK UNDER THIS PERMIT ALSO INCLUDES GRADING, TREE CLEARING FOR THE ACCESS ROAD AND UTILITY CONSTRUCTION, CONNECTION TO A DROP INLET AT L.S. 12+10 RT, STORMWATER DISCHARGE PIPES AT L.S. 9+95 RT AND 11+65 RT, CONNECTION TO THE MUNICIPAL WATER MAIN AT L.S. 11+80 RT AND REVEGATATION AND TREE PLANTING ALONG THE NORTHERN SLOPE OF THE ACCESS DRIVE.

Issued Permit Notice of Violation
 Suspension of Permit Withdrawn

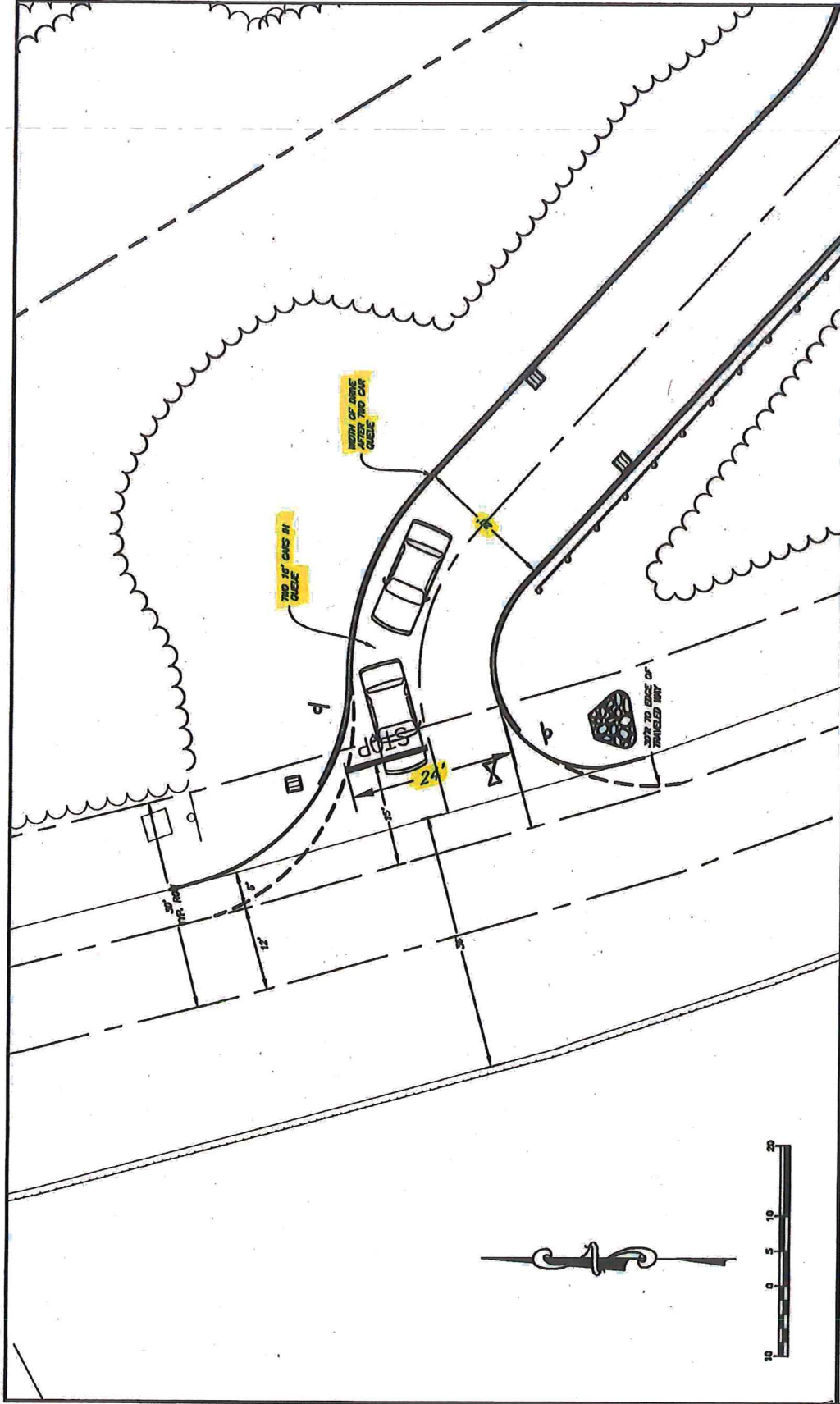
Action Date: July 18, 2017

Signature: 
Authorized Representative for
the Secretary of Transportation

Location of Record: Vermont Agency of Transportation
Development Review & Permitting Services Section
One National Life Drive
Montpelier, Vermont 05633-5001

Town/City of _____ Clerk's Office
Received _____ at _____ a.m./p.m.
and recorded in Book _____ on Page _____
of land records. _____
Attest: _____

Assistant Town/City Clerk



PUTNEY LANDING APARTMENTS
VTRANS HIGHWAY ACCESS

PUTNEY, VT

FIG--1

S&A STEVENS & ASSOCIATES, P.C.
 SMART DESIGN FOR LIVABLE COMMUNITIES
 ARCHITECTS ENGINEERS LANDSCAPE ARCHITECTS
 PH: 802-257-9329 F: 802-258-3892 WWW.STEVENS-ASSOC.COM
 DATE: 04/05/17 | SCALE: 1"=20'
 PROJ. NO.: 15-084

PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
c/o Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 543-8424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 543-8424

William & Winifred Housing Trust
45 Biggs Street
Brattleboro, VT 05301
Phone: (802) 248-2111

ARCHITECT:
S2 Architecture
5214 S.W. Home Rd.
Shelburne, VT 05483
Phone: (802) 965-5595

CIVIL ENGINEER:
Singer and Associates
95 Main Street
Brattleboro, VT 05302
Phone: (802) 251-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Wilmington, VT 05361
Phone: (802) 879-6341

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 355-5091

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 355-5091



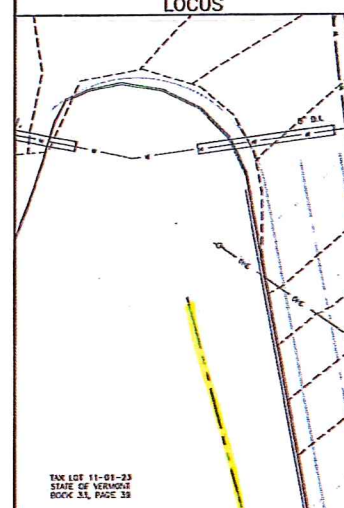
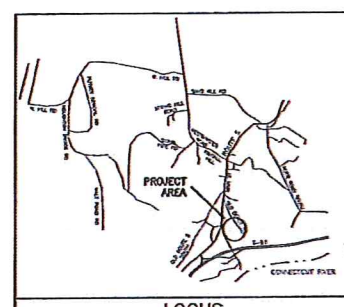
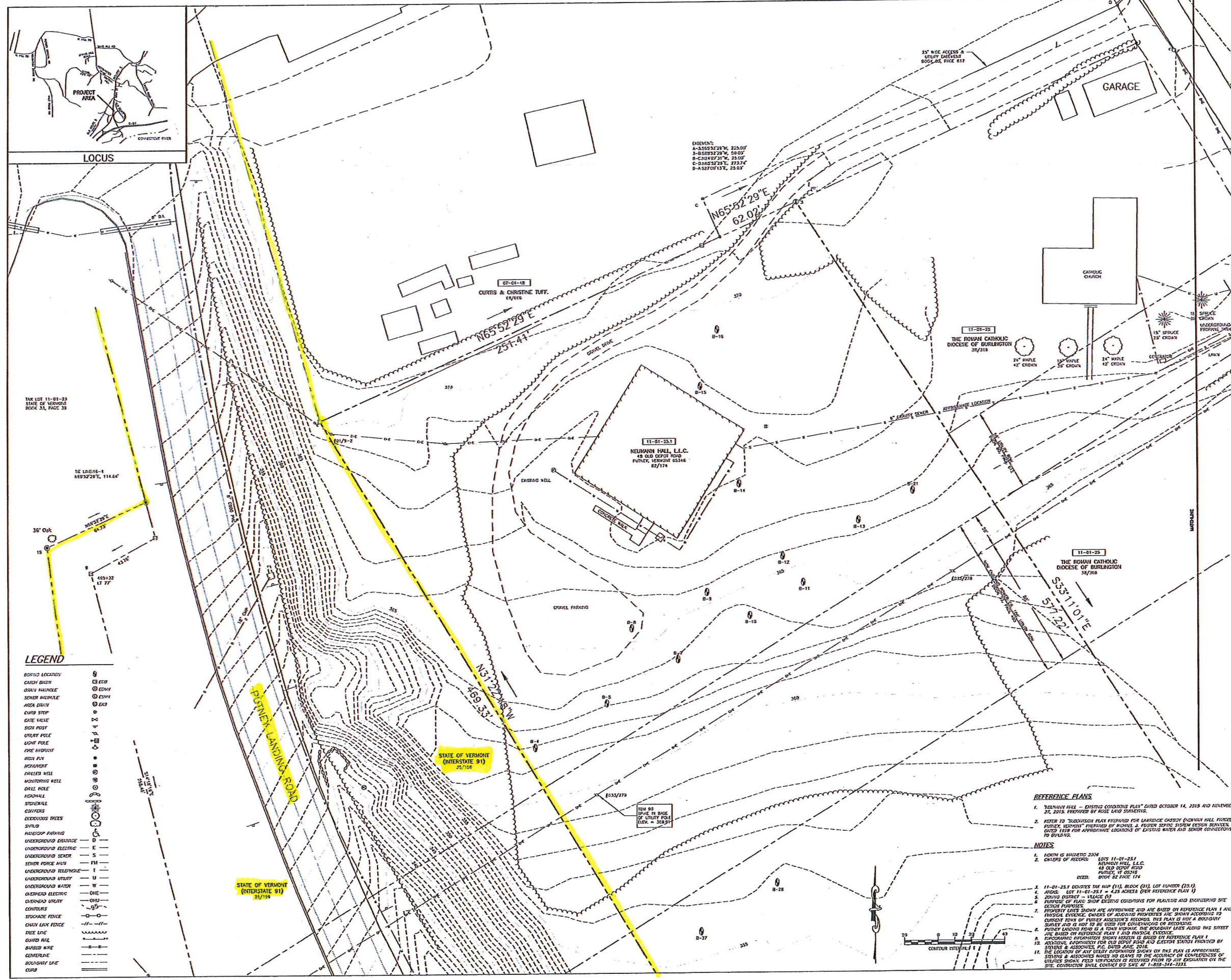
PURPOSE OF DRAWING:
MARCH 15, 2017
EID DOCUMENTS SET

DATE: 03.15.17

REVISIONS

NO.	DATE	DESCRIPTION

EXISTING CONDITIONS
C-1A

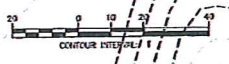


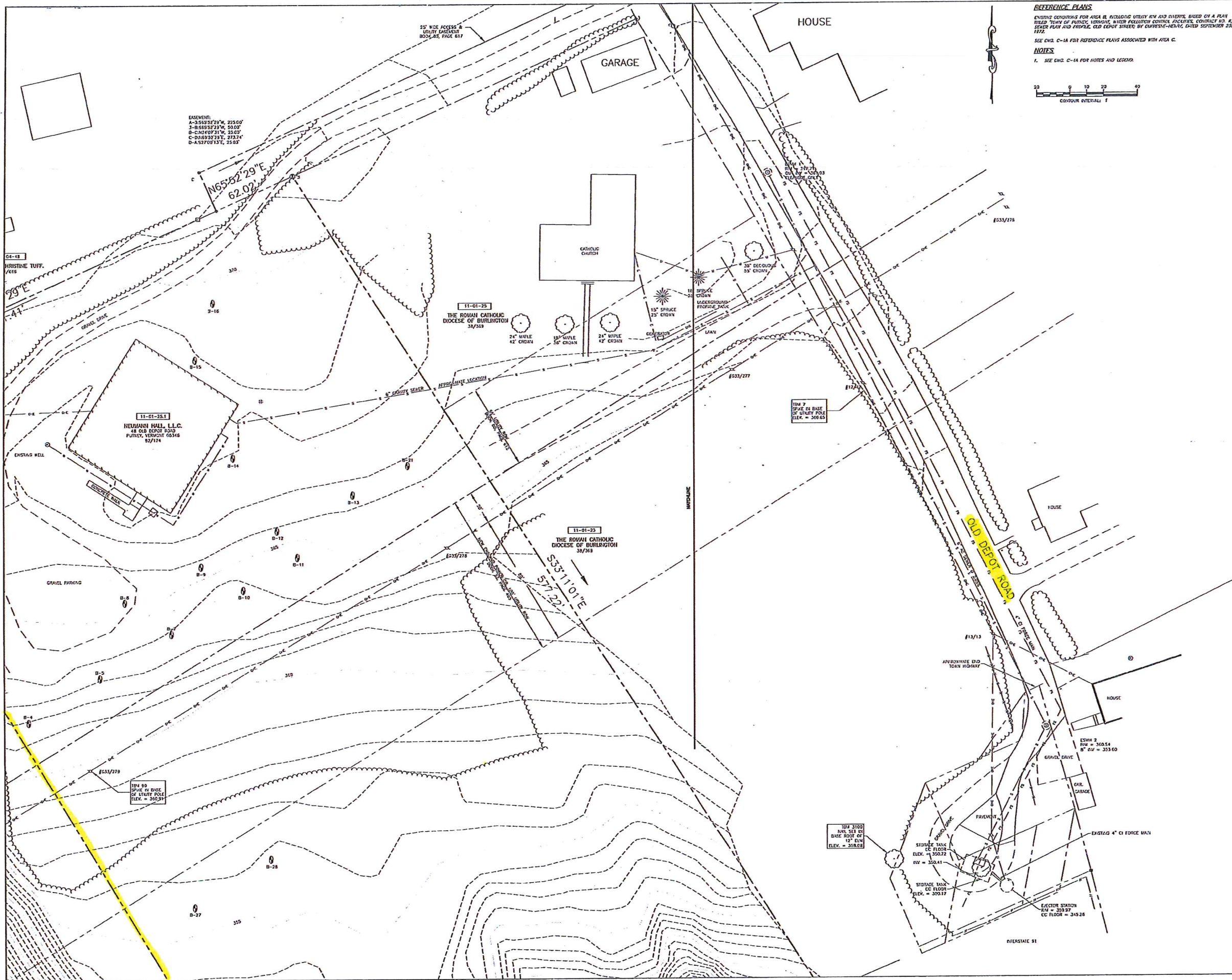
LEGEND

BOUNDARY LOCATION	○
CATCH BASIN	⊠
CELESTIAL MANHOLE	⊡
SEWER MANHOLE	⊞
AREA DRAIN	⊞
CURB STEP	⊞
GATE VALVE	⊞
SEWER POST	⊞
UTILITY POLE	⊞
LIGHT POLE	⊞
FIRE HYDRANT	⊞
SEWER PUMP	⊞
MOVEMENT	⊞
FALLS WELL	⊞
MONITORING WELL	⊞
DRIE HOLE	⊞
MANHOLE	⊞
STORMWATER	⊞
CONCRETE	⊞
DECIDUOUS TREES	⊞
SHRUBS	⊞
HANDICAP PARKING	⊞
UNDERGROUND DISTANCE	⊞
UNDERGROUND ELECTRIC	⊞
UNDERGROUND SEWER	⊞
SEWER FORCE MAIN	⊞
UNDERGROUND TELEPHONE	⊞
UNDERGROUND UTILITY	⊞
UNDERGROUND WATER	⊞
OVERHEAD ELECTRIC	⊞
OVERHEAD UTILITY	⊞
CONTOURS	⊞
STOCKADE FENCE	⊞
CHAIN LINK FENCE	⊞
PIPE LINE	⊞
GRAVEL FILL	⊞
GRAVEL WIDE	⊞
CONCRETE	⊞
BOUNDARY LINE	⊞
CURB	⊞

- REFERENCE PLANS**
- NEUMANN HALL - EXISTING CONDITIONS PLAN DATED OCTOBER 14, 2015 AND NOVEMBER 27, 2016, PREPARED BY FOSTER AND PARTNERS
 - PUTNEY TO SUBURBAN PLAN PREPARED FOR LANDSCAPE ARCHITECT (NEUMANN HALL FENCE, PUTNEY, VERMONT) PREPARED BY MICHAEL A. FOSTER SENIOR SYSTEM DESIGN SERVICES, DATED 1979 FOR APPROXIMATE LOCATIONS OF EXISTING WATER AND SEWER CONNECTIONS TO BUILDING.

- NOTES**
- ADDITIONAL INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN 1 AND PHYSICAL EVIDENCE.
 - PROPERTY LINES SHOWN ARE APPROXIMATE AND ARE BASED ON REFERENCE PLAN 1 AND PHYSICAL EVIDENCE. OWNERS OF ADJACENT PROPERTIES ARE SHOWN ACCORDING TO CURRENT TAX MAPS OF PUTNEY ASSESSOR'S RECORDS. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR CONVEYANCE OR RECORDING.
 - PUTNEY LANDING ROAD IS A TOWN HIGHWAY. THE BOUNDARY LINES ALONG THIS STREET ARE BASED ON REFERENCE PLAN 1 AND PHYSICAL EVIDENCE.
 - ADDITIONAL INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN 1 AND PHYSICAL EVIDENCE FOR OLD DEPOT ROAD AND ELECTOR STATION.
 - THE LOCATION OF ANY UTILITY INTERFERENCE SHOWN ON THIS PLAN IS APPROXIMATE. SETBACKS & ASSOCIATED HAZARDS AND CLAIMS TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN, FIELD VERIFICATION IS REQUIRED PRIOR TO ANY EXCAVATION ON THE SITE. CONTRACTOR SHALL CONTACT GCS DATE AT 1-855-344-7233.





REFERENCE PLANS
 EXISTING CONDITIONS FOR AREA B, INCLUDING UTILITY RM AND DIVERS, BASED ON A PLAN TITLED 'TOWN OF PUTNEY, VERMONT, WATER POLLUTION CONTROL FACILITIES, CONTRACT NO. A, SEWER PLAN AND PROFILE, OLD DEPOT STREET, BY CURRIE-HEWING, DATED SEPTEMBER 28, 1972.
 SEE CHG. C-1A FOR REFERENCE PLANS ASSOCIATED WITH AREA C.

NOTES
 1. SEE CHG. C-1A FOR NOTES AND LEGEND.

CONTOUR INTERVAL: 1'

PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION
 PUTNEY, VT

OWNER:
 Putney Landing Limited Partnership
 c/o Housing Vermont
 100 Bank Street #400
 Burlington, VT 05401
 Phone: (802) 843-8424

CO-DEVELOPERS:
 Housing Vermont
 100 Bank Street #400
 Burlington, VT 05401
 Phone: (802) 843-8424

Wadhams & Windsor Housing Trust
 65 Blaine Street
 Brattleboro, VT 05301
 Phone: (802) 246-2113

ARCHITECT:
 S2 Architecture
 5224 Shelburne Rd.
 Shelburne, VT 05482
 Phone: (802) 985-5555

CIVIL ENGINEER:
 Stevens and Associates
 12 Main Street
 Brattleboro, VT 05302
 Phone: (802) 257-9329

STRUCTURAL ENGINEER:
 Knight Consulting Engineers, Inc.
 51 Knight Lane
 Williston, VT 05495
 Phone: (802) 879-6343

MECHANICAL ENGINEER:
 Engineering Services of Vermont, LLC
 9 Washington Street
 Rutland, VT 05701
 Phone: (802) 855-5991

ELECTRICAL ENGINEER:
 Engineering Services of Vermont, LLC
 9 Washington Street
 Rutland, VT 05701
 Phone: (802) 855-5991

STATE OF VERMONT
 REGISTERED PROFESSIONAL ENGINEER
 NO. 1774
 C.E.
 CURRIE-HEWING

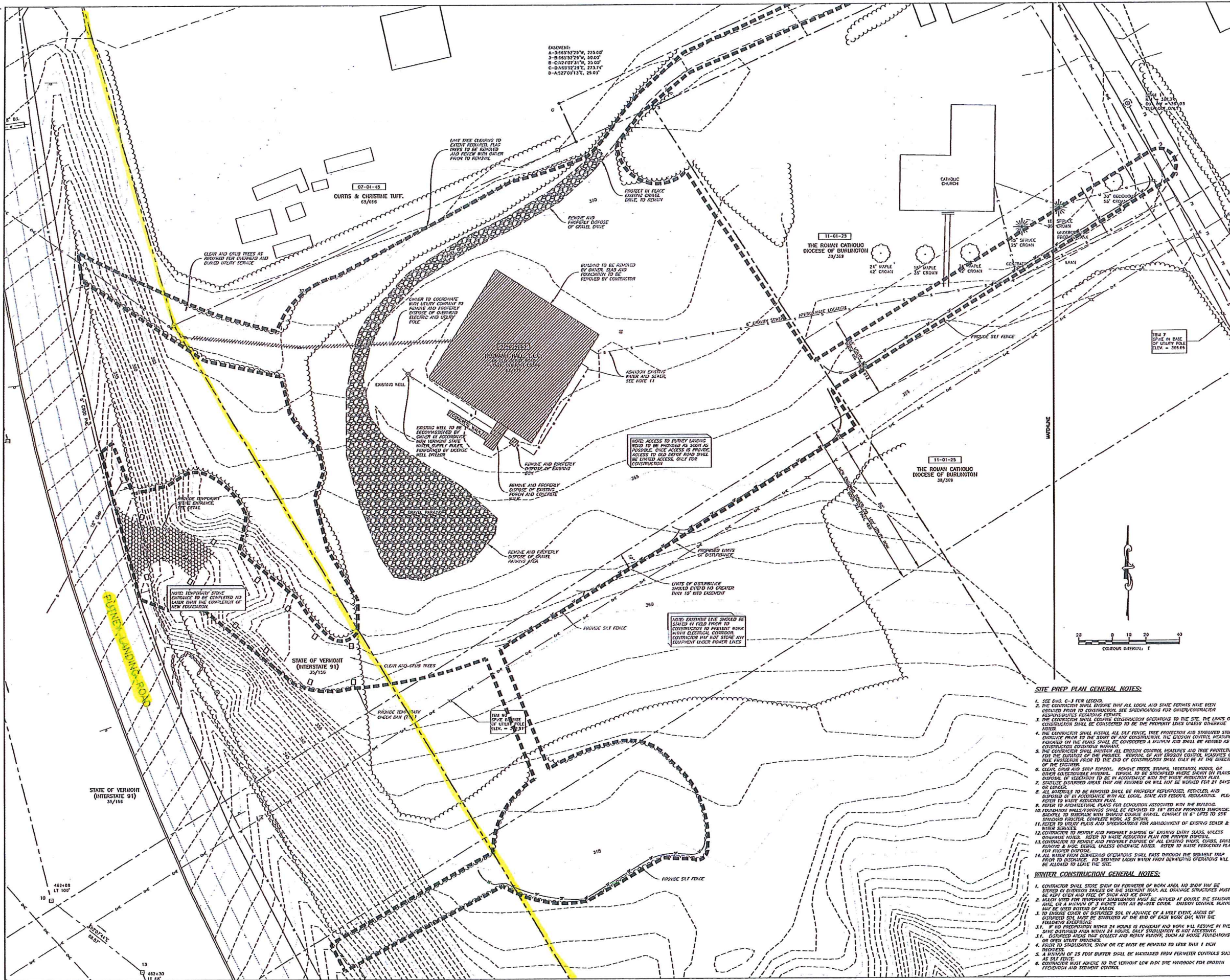
PURPOSE OF DRAWING:
 MARCH 15, 2017
 BD DOCUMENTS SET

DATE: 03.15.17

REVISIONS

EXISTING CONDITIONS

C-1B



PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION

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Putney Landing Limited Partnership
of Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 863-8424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 863-8424

William & Windsor Housing Trust
48 Ridge Street
Brattleboro, VT 05301
Phone: (802) 246-2113

ARCHITECT:
52 Archibute
5724 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 985-5595

CIVIL ENGINEER:
Steven M. Associates
95 Main Street
Brattleboro, VT 05302
Phone: (802) 257-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 879-4343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-8091

ELECTRICAL ENGINEER:
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Phone: (802) 855-8091



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BD DOCUMENTS SET

DATE: 03.15.17

REVISIONS

SITE PREP PLAN

C-2

SITE PREP PLAN GENERAL NOTES:

1. SEE DLS. C-3 FOR LEGEND.
2. THE CONTRACTOR SHALL VERIFY THAT ALL LOCAL AND STATE PERMITS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. SEE SPECIFICATIONS FOR OWNER/CONTRACTOR RESPONSIBILITIES REGARDING PERMITS.
3. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS TO THE SITE. THE LIMITS OF CONSTRUCTION SHALL BE CONSIDERED TO BE THE PROPERTY LINES UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL INSTALL ALL SELF FENCE, TREE PROTECTION AND STABILIZED STONE DRAINAGE PRIOR TO THE START OF ANY CONSTRUCTION. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED A MINIMUM AND SHALL BE REVISED AS CONSTRUCTION CONDITIONS WARRANT.
5. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES AND TREE PROTECTION FOR THE DURATION OF THE PROJECT. REMOVAL OF ANY EROSION CONTROL MEASURES OR TREE PROTECTION PRIOR TO THE END OF CONSTRUCTION SHALL ONLY BE AT THE DISCRETION OF THE ENGINEER.
6. CLEAR DRIVE AND STEEP TRENCH. REMOVE TREES, STUMPS, VEGETATION ROOTS, OR OTHER UNSOUNDABLE MATERIAL. MATERIAL TO BE STOCKPILED AND SHOWN ON PLANS. DISPOSAL OF VEGETATION TO BE IN ACCORDANCE WITH THE WASTE REDUCTION PLAN.
7. STABILIZE DISTURBED AREAS THAT ARE EXPOSED OR WILL NOT BE RECOVERED FOR 24 HOURS OR LONGER.
8. ALL MATERIALS TO BE REMOVED SHALL BE PROPERLY REDUCED, RECYCLED, AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. PLEASE REFER TO WASTE REDUCTION PLAN.
9. REFER TO ARCHITECTURAL PLANS FOR DEMOLITION ASSOCIATED WITH THE BUILDING.
10. FOUNDATION WELLS/POUNDS SHALL BE REMOVED TO 18" BELOW PROPOSED FINISH GRADE. BACKFILL TO SUBGRADE WITH SHARPS CORNER GRAVEL. COMPACT TO 6" LIFTS TO 95% STANDARD PROCTOR. COMPLETE WORK AS SHOWN.
11. REFER TO UTILITY PLANS AND SPECIFICATIONS FOR ABANDONMENT OF EXISTING SENIOR & WATER LINES.
12. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF EXISTING ENTRY SLABS, UNLESS OTHERWISE NOTED. REFER TO WASTE REDUCTION PLAN FOR PROPER DISPOSAL.
13. CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING WELLS, CURBS, DRIES, FENCE & BISC. DEBRIS, UNLESS OTHERWISE NOTED. REFER TO WASTE REDUCTION PLAN FOR PROPER DISPOSAL.
14. ALL WATER FROM DEMOLITION OPERATIONS SHALL PASS THROUGH THE SEDIMENT TRAP PRIOR TO DISCHARGE. TO PREVENT LAUGH WATER FROM DISCHARGING OPERATIONS WILL BE ALLOWED TO LEAVE THE SITE.

WINNER CONSTRUCTION GENERAL NOTES:

1. CONTRACTOR SHALL STORE SHOW ON PERMETER OF WORK AREA AND SHOW MAY BE STORED IN OVERSEEN SIZES OR THE SEDIMENT TRAP. ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND DEBRIS.
2. MASHIN USED FOR TEMPORARY STABILIZATION MUST BE AVOIDED BY DOUBLE THE STABILIZED AREA. USE A MASHIN COVER OR 2' HIGH BARRIER WITH AN 18" HIGH COVER. DUSTON COVER PLANTING MAY BE USED INSTEAD OF MASHIN.
3. TO PREVENT COVER OF DISTURBED SOIL BY ADVANCE OF A WELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
- 3.1. IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, ONLY STABILIZATION IS NOT NECESSARY.
- 3.2. DISTURBED AREAS THAT COLLECT AND HOLD WATER, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
4. PRIOR TO STABILIZATION, SNOW OR ICE MUST BE REMOVED TO LESS THAN 1" HIGH THICKNESS.
5. A MINIMUM OF 25 FOOT BUFFER SHALL BE MAINTAINED FROM PERMETER CONTROLS SUCH AS SELF FENCE.
6. CONTRACTOR MUST ADHERE TO THE VERMONT LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL.

**PUTNEY LANDING
APARTMENTS & NOYES
HOUSE RENOVATION**

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
c/o Housing Vermont
100 Bank Street #500
Burlington, VT 05401
Phone: (802) 863-8424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #500
Burlington, VT 05401
Phone: (802) 863-8424

William A. Wadlow Housing Trust
65 Birge Street
Burlington, VT 05301
Phone: (802) 246-2113

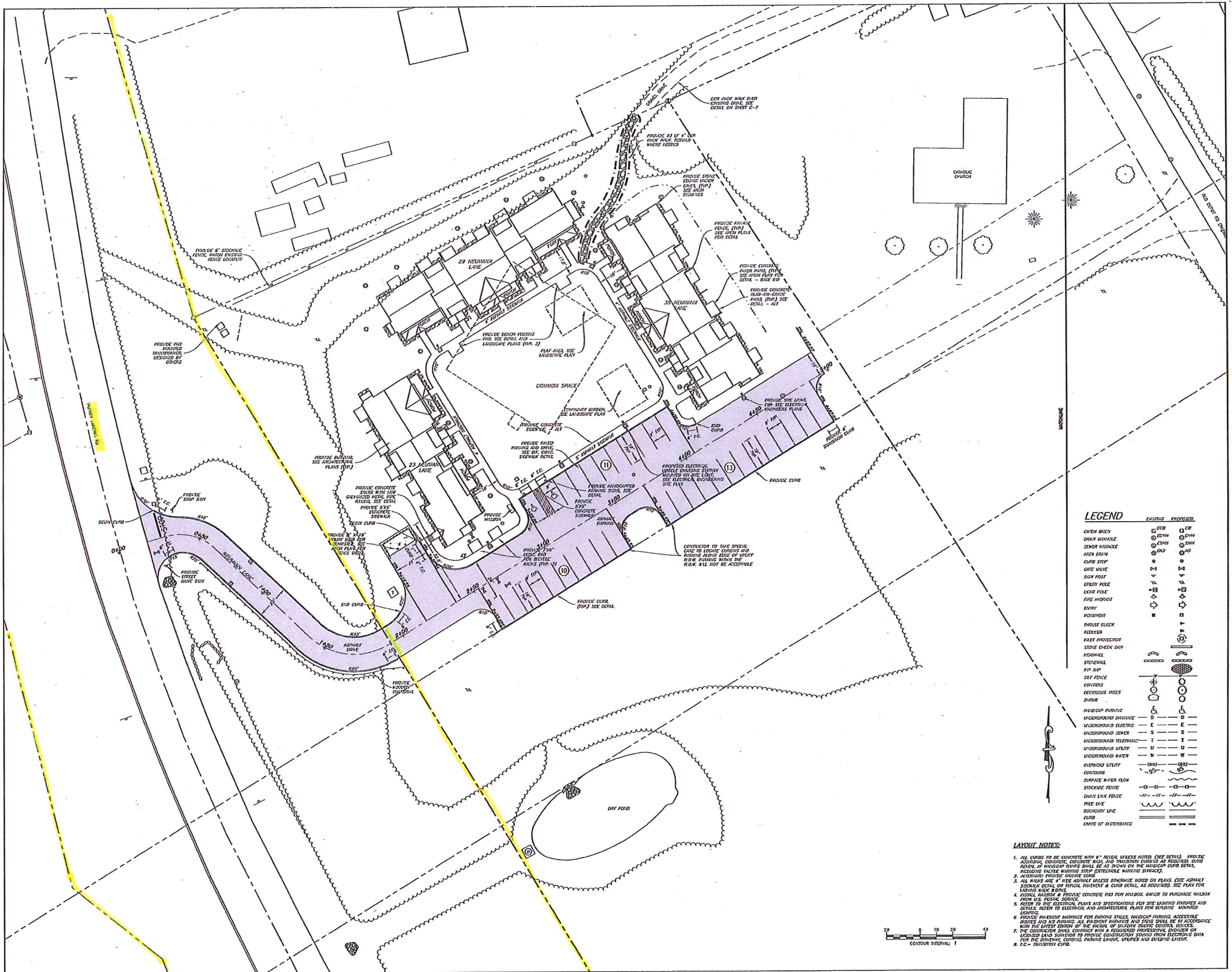
ARCHITECT:
S2 Architecture
5224 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 955-5595

CIVIL ENGINEER:
Stevens and Associates
55 Main Street
Burlington, VT 05302
Phone: (802) 237-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 879-4343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Burlington, VT 05401
Phone: (802) 855-5091

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Burlington, VT 05401
Phone: (802) 855-5091



LEGEND

EXISTING	PROPOSED	
CATCH BASIN	CEB	CR
GRAVEL MANHOLE	CEMH	CMH
SEWER MANHOLE	CESMH	SMH
AREA DRAIN	CD	AD
CURB STOP	CS	CS
GATE VALVE	GV	GV
SOFT POST	SP	SP
UTILITY POLE	UP	UP
DRIVE POLE	DP	DP
FIRE HYDRANT	FH	FH
DOWN	DN	DN
WASTEWATER	WW	WW
INDUST. ELDOCK	IE	IE
RESEWER	RE	RE
RILEY PROTECTORY	RP	RP
STONE CHECK DAM	SCD	SCD
HEADWALL	H	H
STONEWALL	SW	SW
RIP RAP	R	R
SELF PROTECT	SP	SP
CONCRETE	C	C
DECIDUOUS TREES	DT	DT
SHRUB	S	S
HANDICAP PARKING	H	H
UNHANDICAPED PARKING	U	U
UNHANDICAPED ELECTRIC	E	E
UNHANDICAPED CEMER	S	S
UNHANDICAPED TELEPHONE	T	T
UNHANDICAPED UTILITY	U	U
UNHANDICAPED WATER	W	W
OVERHEAD UTILITY	OHU	OHU
CONTOURS	95	95
SURFACE WATER FLOW	SWF	SWF
STOCKPILE FENCE	STF	STF
CHAIN LINK FENCE	CLF	CLF
FREE LIFE	FL	FL
BOUNDARY LINE	BL	BL
CURB	CR	CR
LIMITS OF DISTURBANCE	LOD	LOD

- LAYOUT NOTES:**
- ALL CURBS TO BE CONCRETE WITH 8" REBAR UNLESS NOTED (SEE DETAIL). PROVIDE ADDITIONAL CONCRETE, CONCRETE REBAR AND REVISIONS SHOWN AS REQUIRED. CURB RENEWAL AT HANDICAP PARKING SHALL BE AS SHOWN ON THE HANDICAP CURB DETAIL, INCLUDING TACTILE WARDING STRIP (DETECTABLE WARDING SURFACE).
 - ALTERNATE PROVIDE SOLID CURB.
 - ALL WALKS ARE 4" REBAR ASPHALT UNLESS OTHERWISE NOTED ON PLANS. (SEE ASPHALT STRENGTH DETAIL OF TYPICAL PARKING & CURB DETAIL, AS PROVIDED). SEE PLAN FOR WADING MARK BOUNDS.
 - INSTALL WALKWAY & PROVIDE CONCRETE PAD FOR HALBOX. OWNER TO PURCHASE HALBOX FROM U.S. POSTAL SERVICE.
 - REFER TO THE ELECTRICAL PLANS AND SPECIFICATIONS FOR SITE LIGHTING FIXTURES AND DETAILS. REFER TO ELECTRICAL AND ARCHITECTURAL PLANS FOR BUILDING MOUNTED LIGHTING.
 - PROVIDE PAVEMENT MARKINGS FOR PARKING SPACES, HANDICAP PARKING, ACCESSIBLE ROUTES AND ADA PARKING. ALL PARKING MARKINGS AND SIGNS SHALL BE BY ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM PRACTICE CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONSULT WITH A REGISTERED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR TO PROVIDE CONSTRUCTION STAKES FROM ELECTRICAL DATA FOR THE EXTERIOR CURBING, PARKING LAYOUT, UTILITY AND BUILDING LAYOUT.
 - 1/4" = 10' - PARALLEL CURB.



PURPOSE OF DRAWING:
MARCH 15, 2017
BID DOCUMENTS SET

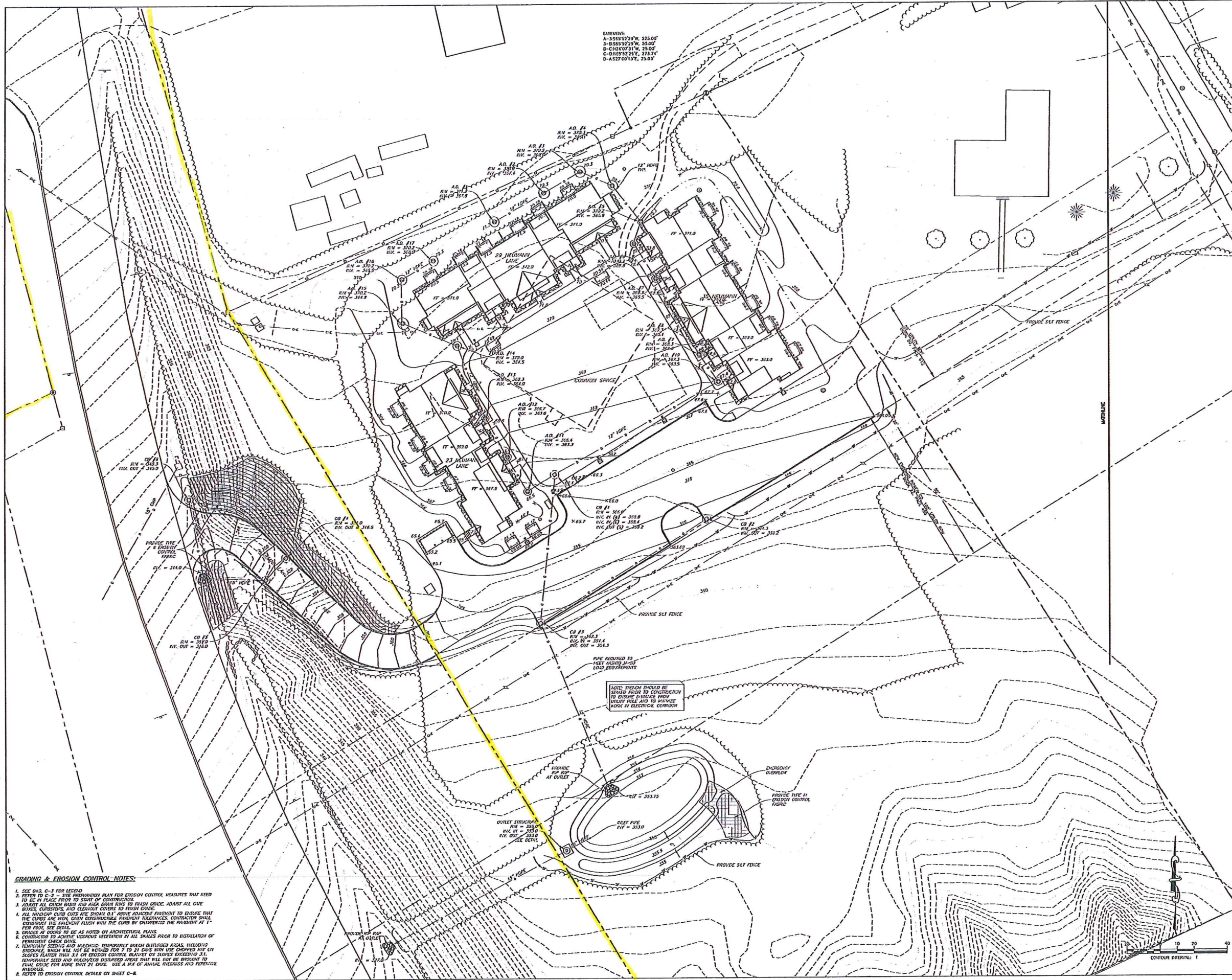
DATE: 03.15.17

REVISIONS

NO.	DESCRIPTION

LAYOUT PLAN

C-3



EASEMENT:
 A-35552728'W, 225.00'
 B-85552728'W, 225.00'
 C-41070731'W, 25.00'
 D-81052728'W, 22.24'
 E-45270713'E, 25.03'

**PUTNEY LANDING
 APARTMENTS & NOYES
 HOUSE RENOVATION**

PUTNEY, VT

OWNER:
 Putney Landing Limited Partnership
 c/o Howing Vermont
 100 Back Street #300
 Burlington, VT 05401
 Phone: (802) 863-8424

CO-DEVELOPERS:
 Howing Vermont
 100 Back Street #300
 Burlington, VT 05401
 Phone: (802) 863-8424

William & Walter Howing Trust
 45 Birge Street
 Brattleboro, VT 05301
 Phone: (802) 246-2113

ARCHITECT:
 S2 Architects
 5224 Shelburne Rd.
 Shelburne, VT 05483
 Phone: (802) 954-5995

CIVIL ENGINEER:
 Stevens and Associates
 55 Main Street
 Brattleboro, VT 05302
 Phone: (802) 257-9329

STRUCTURAL ENGINEER:
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 51 Knight Lane
 Williston, VT 05495
 Phone: (802) 879-4343

MECHANICAL ENGINEER:
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 9 Washington Street
 Rutland, VT 05701
 Phone: (802) 555-5091

ELECTRICAL ENGINEER:
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 Phone: (802) 555-5091



PURPOSE OF DRAINAGE:
 MARCH 15, 2017
 BO DOCUMENTS SET

DATE: 03.15.17

REVISIONS

**GRADING, DRAINAGE
 AND EROSION
 CONTROL PLAN**

C-4

- GRADING & EROSION CONTROL NOTES:**
- SEE DWG. C-3 FOR LEGEND
 - REFER TO C-2 - SITE PREPARATION PLAN FOR EROSION CONTROL MEASURES THAT NEED TO BE IN PLACE PRIOR TO START OF CONSTRUCTION.
 - ADJUST ALL CATCH BASIN AND AREA DRAIN BINS TO FINISH GRADE. ADJUST ALL CURB, CHANNELS, AND GULLWAYS TO FINISH GRADE.
 - ALL HANDICAP CURB CUTS ARE SHOWN 0.1' ABOVE ADJACENT PAVEMENT TO ENSURE THAT THE CURB IS HIGH ENOUGH TO PREVENT FLOODING. CONTRACTOR SHALL CONSTRUCT THE PAVEMENT FLUSH WITH THE CURB BY CHANGING THE PAVEMENT AT 1'-PER FOOT. SEE DETAIL.
 - GRADES AT DOORS TO BE AS NOTED ON ARCHITECTURAL PLANS.
 - CONTRACTOR TO ADVISE WORKING VEGETATION IN ALL SPACES PRIOR TO INSTALLATION OF PERMANENT CHECK DAMS.
 - TEMPORARY SEEDING AND MULCHING: THOROUGHLY BROADCAST AREAS INCLUDING SLOPES FLATTER THAN 3:1 OR EROSION CONTROL BLANKET OR SLIPCOVER EXCEEDING 3:1. TEMPORARILY SEED AND MULCH OVER EXPOSED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR MORE THAN 21 DAYS. USE A MIX OF ANNUAL REGRASS AND PERENNIAL REGRASS.
 - REFER TO EROSION CONTROL DETAILS ON SHEET C-8

DATE: PRELIM SHOULD BE
 SIGNED PRIOR TO CONSTRUCTION
 TO ENSURE ENTRANCE FROM
 UTILITY POLE AND TO MANAGE
 WORK BY ELECTRICAL COMPANY

OUTLET STRUCTURE:
 RIM = 353.0
 INV. OUT = 353.0
 SEE DETAIL

PROVIDE TYPE II
 FIBERGLASS CURB
 FABRIC

CONTOUR INTERVAL: 1'

PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION
PUTNEY, VT

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100 Bank Street #400
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Phone: (802) 463-8124

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Windham & Windsor Housing Trust
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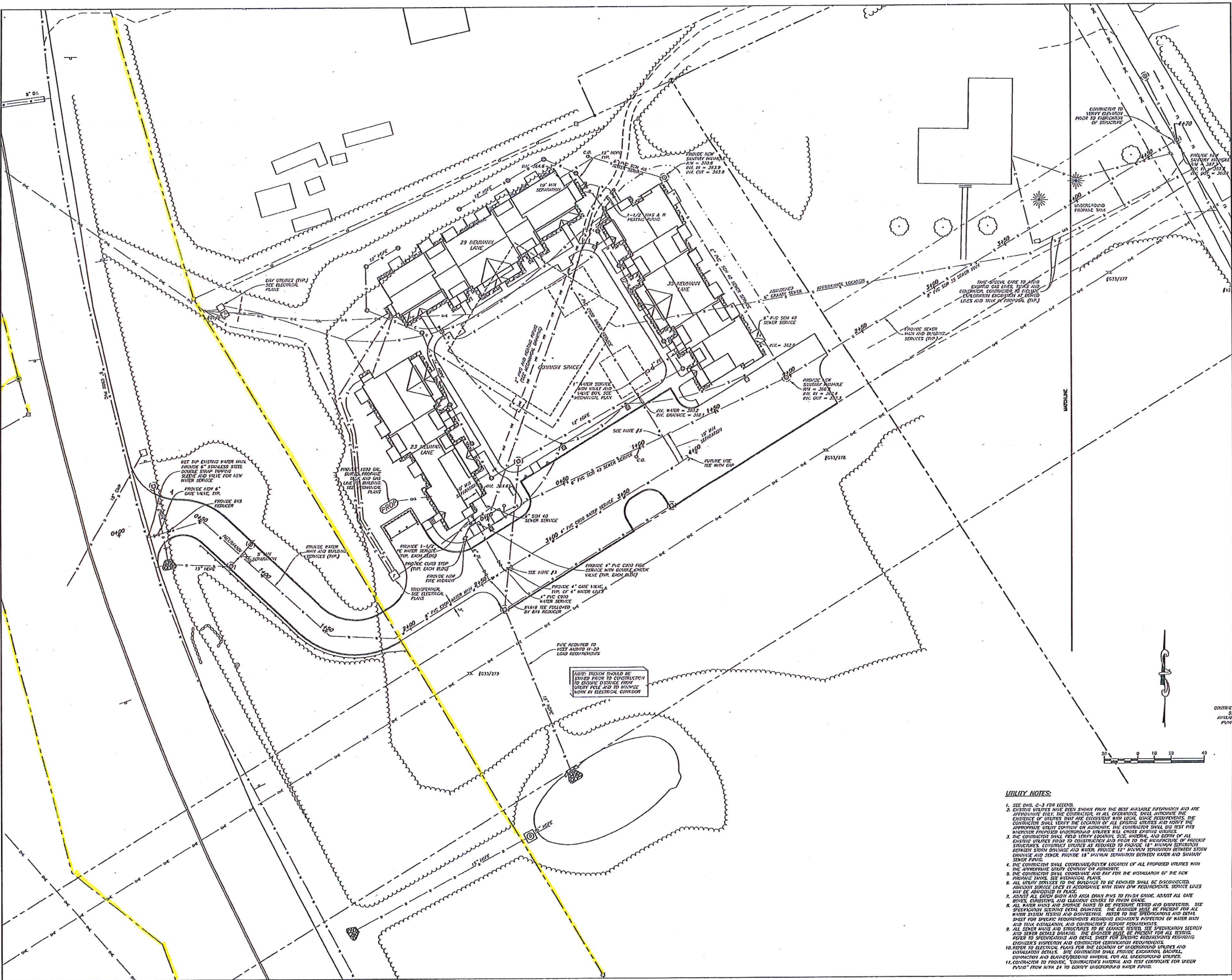
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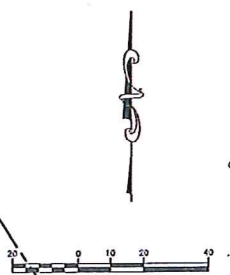
STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 879-3343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 555-9971

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 555-9971



ADDITIONAL NOTES:
ADDITIONAL NOTES SHOULD BE
LEAVE FROM TO CONSTRUCTION
TO ENSURE DISTANCE FROM
UTILITY POLE AND TO MINIMIZE
WORK IN ELECTRICAL CORRIDOR



UTILITY NOTES:

- SEE DWG. C-3 FOR LEGEND.
- EXISTING UTILITIES HAVE BEEN SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE ONLY. THE CONTRACTOR, IN ALL OPERATIONS, SHALL VERIFY THE EXISTENCE OF UTILITIES THAT ARE COORDINATE WITH LOCAL GOVERNMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY COMPANY OR AUTHORITY. THE CONTRACTOR SHALL DO TEST PITS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY'S REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND PRIOR TO THE INSTALLATION OF PRECAST STRUCTURES. CONSTRUCT UTILITIES AS REQUIRED TO PROVIDE 18" MINIMUM SEPARATION BETWEEN STORM DRAINAGE AND WATER. PROVIDE 12" MINIMUM SEPARATION BETWEEN STORM DRAINAGE AND SEWER. PROVIDE 18" MINIMUM SEPARATION BETWEEN WATER AND SANITARY SEWER PIPES.
- THE CONTRACTOR SHALL COORDINATE/VERIFY LOCATION OF ALL PROPOSED UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AUTHORITY.
- THE CONTRACTOR SHALL COORDINATE AND PAY FOR THE INSTALLATION OF THE NEW FIREPROOF TANKS. SEE MECHANICAL PLAN.
- ALL UTILITY SERVICES TO THE BUILDINGS TO BE RENOVATED SHALL BE DISCONNECTED. ABANDON SERVICE LINES IN ACCORDANCE WITH TOWN OFM REQUIREMENTS. SERVICE LINES MAY BE ABANDONED IN PLACE.
- ADJUST ALL DITCH BUILT AND AREA DRAIN PIPES TO FINISH ELEVATION. ADJUST ALL GATE BOXES, CONCRETE, AND ELEVATION COVERS TO FINISH ELEVATION.
- ALL WATER MAINS AND STORAGE TANKS TO BE PRESSURE TESTED AND DISCONNECTED. SEE SPECIFICATIONS REGARDING DETAIL CONSTRUCTION. THE ENGINEER MUST BE PRESENT FOR ALL WATER SYSTEM TESTING AND DISCONNECTS. REFER TO THE SPECIFICATIONS AND DETAIL SHEET FOR SPECIFIC REQUIREMENTS REGARDING ENGINEER'S APPROXIMATION OF WATER MAIN AND TANK INSTALLATION, AND CONTRACTOR'S REPORT REQUIREMENTS.
- ALL GROUND MAINS AND STRUCTURES TO BE LEAKAGE TESTED. SEE SPECIFICATIONS REGARDING ENGINEER'S APPROXIMATION AND CONTRACTOR'S REPORT REQUIREMENTS.
- REFER TO ELECTRICAL PLAN FOR THE LOCATION OF UNDERGROUND UTILITIES AND UTILIZATION DETAILS. THE CONTRACTOR SHALL PROVIDE EXISTING, EXCAVATED, CORRECTED AND REPAIRED/REMOVED MATERIAL FOR ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO PROVIDE, CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDER PIPING FROM NETA 24 TO VERIFY UNDERGROUND WATER PIPING.



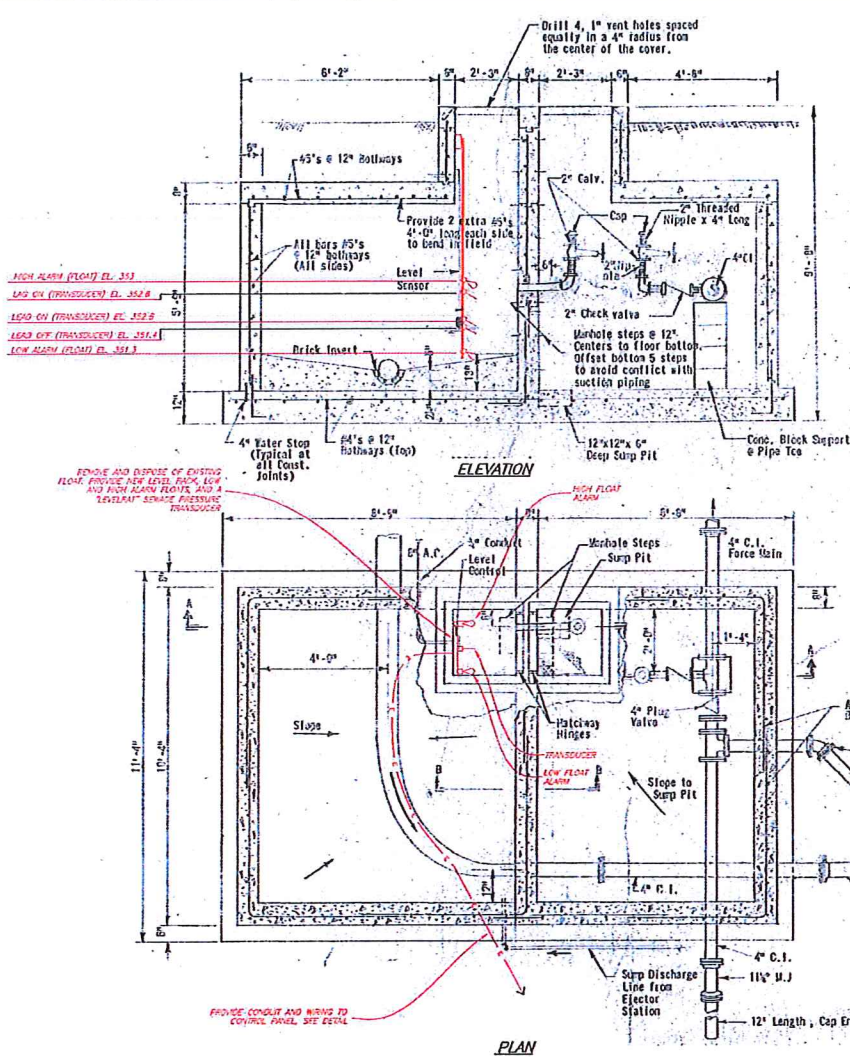
PURPOSE OF DRAWING:
MARCH 15, 2017
BID DOCUMENTS SET

DATE: 03.15.17

NO.	REVISIONS

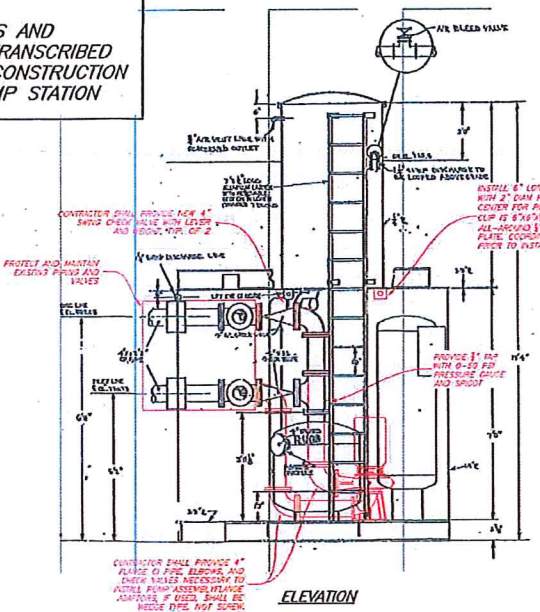
UTILITIES PLAN

C-5A

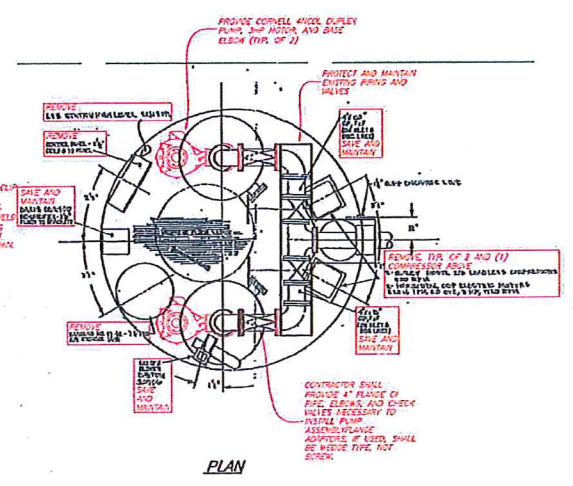


UPGRADE TO EXISTING WET STORAGE TANKS
M/S

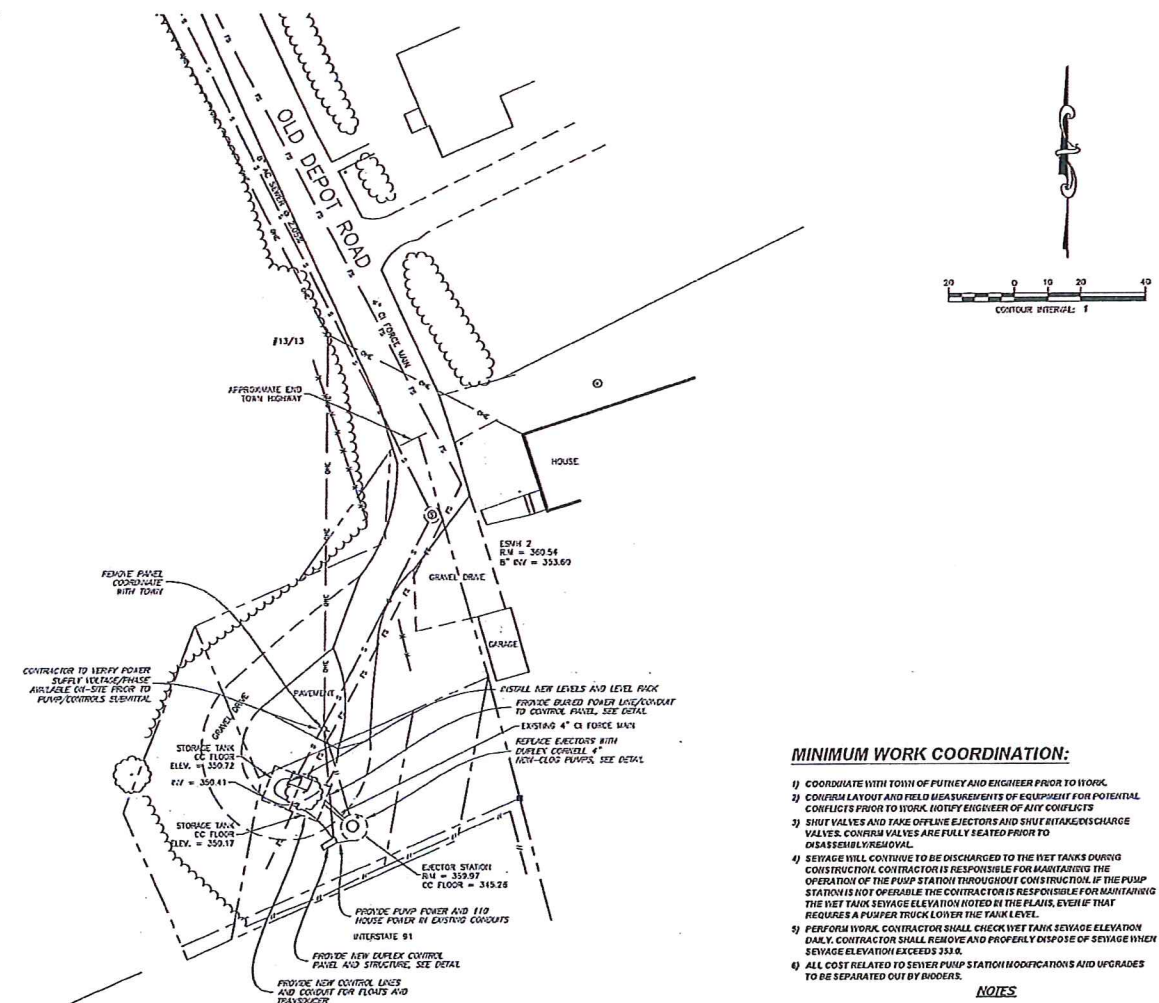
NOTE:
THE PROPOSED NOTES AND IMPROVEMENTS ARE TRANSCRIBED OVER THE ORIGINAL CONSTRUCTION DOCUMENTS FOR PUMP STATION



UPGRADE TO EXISTING SEWER LIFT STATION DETAIL
M/S



NOTES:
ALL EQUIPMENT AND MATERIALS IDENTIFIED FOR REMOVAL ARE THE PROPERTY OF THE TOWN OF PUTNEY AND SHALL BE REUSED. CONTRACTOR SHALL KEEP THEM FOR THE TOWN'S USE. CONTRACTOR SHALL BE RESPONSIBLE TO REVERSE ENGINEER FOR REMOVAL AND REUSE OF THESE ITEMS AT THE TOWN'S WATER TREATMENT PLANT. CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS AND APPROVALS FOR REMOVAL AND REUSE OF THESE ITEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL REMOVED MATERIALS.



- MINIMUM WORK COORDINATION:**
- COORDINATE WITH TOWN OF PUTNEY AND ENGINEER PRIOR TO WORK.
 - CONFIRM LAYOUT AND FIELD MEASUREMENTS OF EQUIPMENT FOR POTENTIAL CONFLICTS PRIOR TO WORK. NOTIFY ENGINEER OF ANY CONFLICTS.
 - SHUT VALVES AND TAKE OFFLINE EJECTORS AND SHUT BYTAKES/CHARGE VALVES. CONFIRM VALVES ARE FULLY SEATED PRIOR TO DEPARTING/RESUMPTION.
 - SEWAGE WILL CONTINUE TO BE DISCHARGED TO THE WET TANKS DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE OPERATION OF THE PUMP STATION THROUGHOUT CONSTRUCTION. IF THE PUMP STATION IS NOT OPERABLE THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE WET TANK SEWAGE ELEVATION NOTED IN THE PLANS, EVEN IF THAT REQUIRES A PUMPER TRUCK LOWER THE TANK LEVEL.
 - PERFORM WORK. CONTRACTOR SHALL CHECK WET TANK SEWAGE ELEVATION DAILY. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF SEWAGE WHEN SEWAGE ELEVATION EXCEEDS 333.0.
 - ALL COST RELATED TO SEWER PUMP STATION MODIFICATIONS AND UPGRADES TO BE SEPARATED OUT BY BIDDERS.
- NOTES:**
- SEE DWG. C-4 AND C-5A FOR NOTES.
 - SEE DWG. C-3 FOR LEGEND.

PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION
PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
60 Housing Vermont
100 Back Street #400
Burlington, VT 05401
Phone: (802) 883-8424

CO-DEVELOPERS:
Housing Vermont
100 Back Street #400
Burlington, VT 05401
Phone: (802) 883-8424

William & Windsor Housing Trust
65 Burg Street
Brattleboro, VT 05301
Phone: (802) 256-2113

ARCHITECT:
S24 Architects
5234 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 985-5595

CIVIL ENGINEER:
Stevens and Associates
95 Main Street
Brattleboro, VT 05302
Phone: (802) 257-9229

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 877-6343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-8091

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-8091

PURPOSE OF DRAWING:
MARCH 15, 2017
BID DOCUMENTS SET

DATE: 03.15.17

REVISIONS:

GRADING AND UTILITIES PLAN

C-5B

**PUTNEY LANDING
APARTMENTS & NOYES
HOUSE RENOVATION**

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
46 Housing Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 843-8124

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 843-8124

Woodham & Windsor Housing Trust
45 Blythe Street
Burlington, VT 05301
Phone: (802) 246-2113

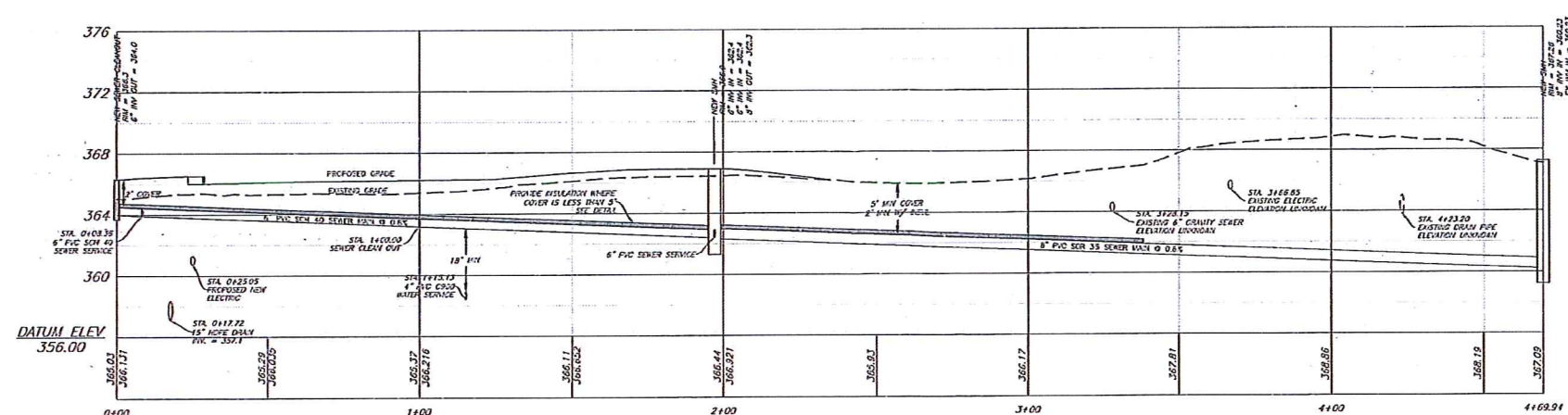
ARCHITECT:
32 Architects
524 Shilburne Rd.
Shelburne, VT 05482
Phone: (802) 955-5595

CIVIL ENGINEER:
Stevens & Associates
52 Main Street
Burlington, VT 05302
Phone: (802) 257-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 879-6343

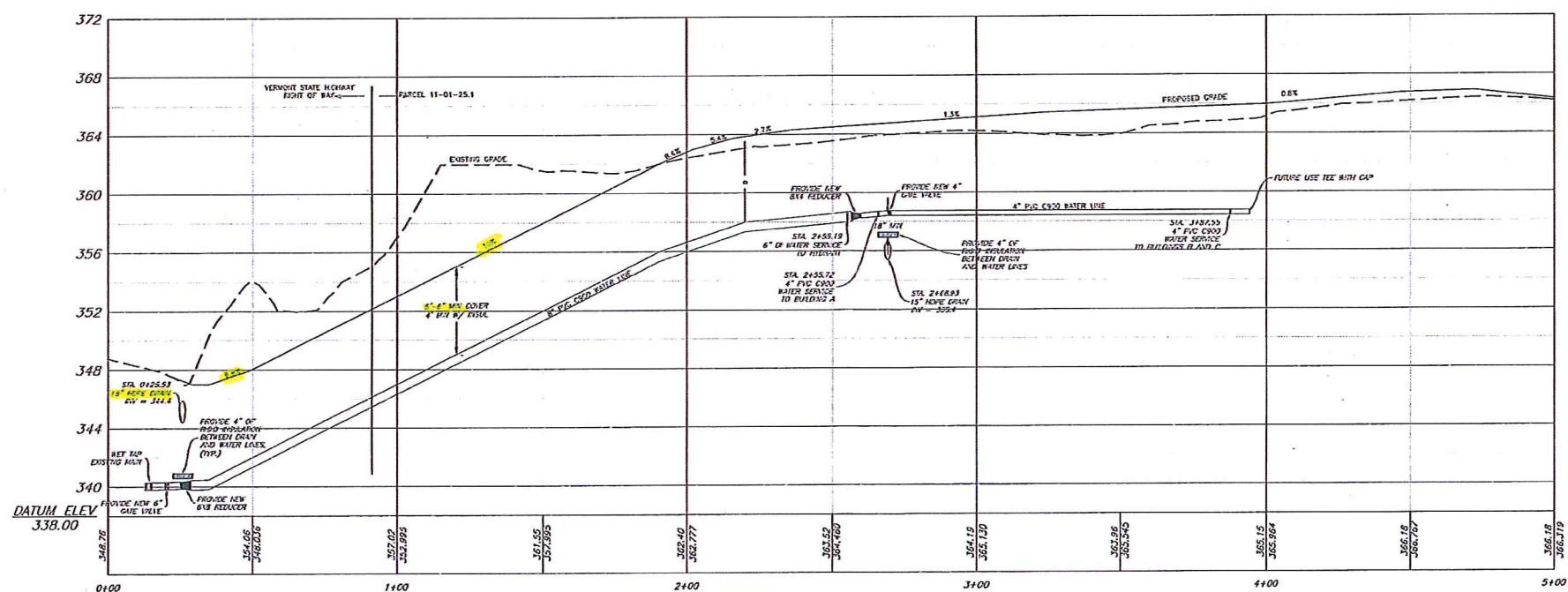
MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-5991

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-5991



CONTRACTOR TO FIELD VERIFY LOCATION
AND ELEVATION OF EXISTING UTILITIES

SEWER LINE PROFILE STA. 0+00 - 4+70
SCALE: 1" = 20' H, 1" = 4' V



DRIVEWAY AND WATER LINE PROFILE STA. 0+00 - 5+00
SCALE: 1" = 20' H, 1" = 4' V



PURPOSE OF DRAWING:
MARCH 15, 2017
ED DOCUMENTS SET

DATE: 03.15.17

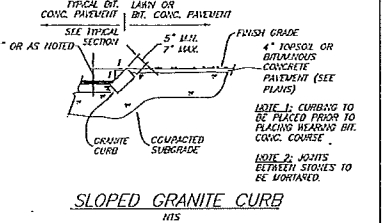
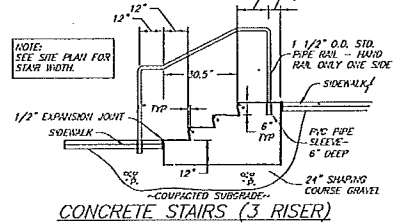
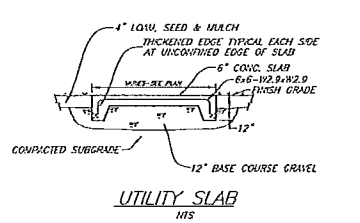
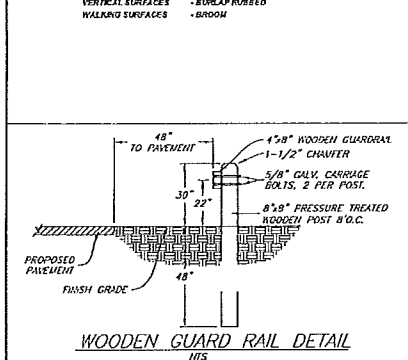
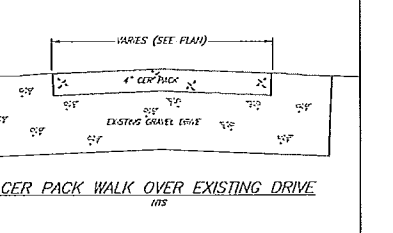
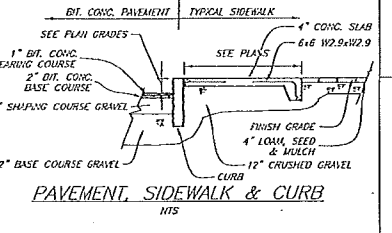
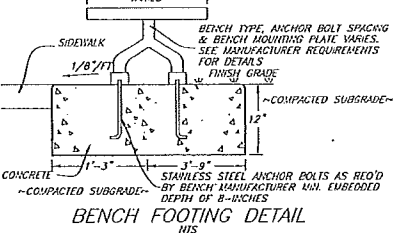
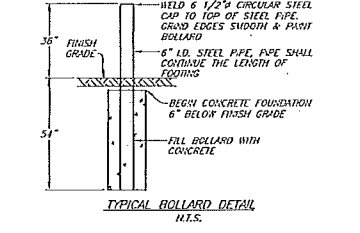
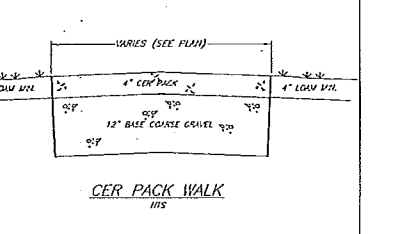
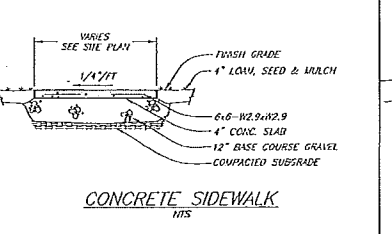
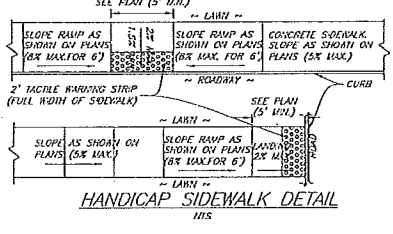
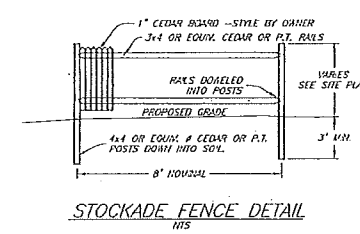
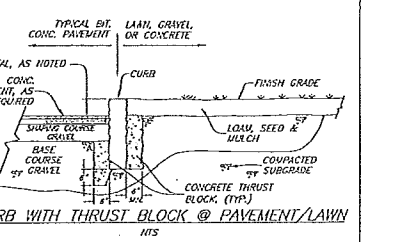
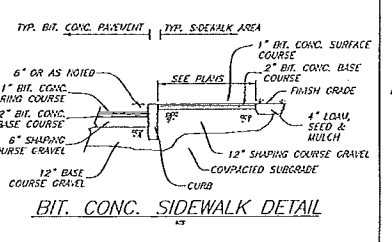
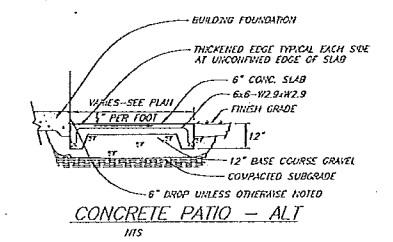
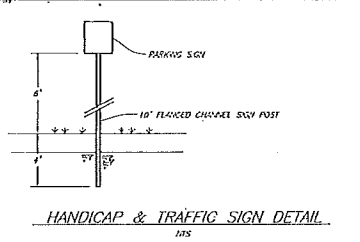
REVISIONS

SEWER AND
DRIVEWAY AND
WATER PROFILES

C-6

SITE CONCRETE GENERAL NOTES:

- ALL FOOTINGS SHALL BE CARRIED DOWN TO FIRM UNDISTURBED BEARING SOIL, RESPECTIVE OF ANY GRADES OR DIMENSIONS GIVEN ON THE PLANS. SOIL-BEARING CAPACITY ASSUMED TO BE 2 TONS PER SQUARE FOOT.
- NO FOOTING SHALL BE PLACED ON FROZEN SOIL. EXTERIOR FOOTINGS SHALL NOT BE LESS THAN 4" BELOW FINISH GRADE, EXCEPT WHERE FOUND ON LEADS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL CONDUIT, SLOTS, PIPE SLEEVES, ANCHOR BOLTS, ETC. AS REQUIRED FOR THE TRACES BEFORE CONCRETE IS POURED.
- ALL SLABS POURED ON GROUND SHALL BE REINFORCED WITH WELDED WIRE MESH 6x6 W/ #12 @ 18" ON CENTER UNLESS SHOWN OTHERWISE. MESH TO BE LAPPED MINIMUM 4" ON SIDES AND 4" ON ENDS. NO HOOKS. SHEET PILING ONLY.
- ALL CONCRETE WALLS, FOOTINGS, SLABS ON GROUND AND FRAMED SLABS TO BE FC-4000 PER 24 HRS AND AIR ENTRIES.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DIMENSIONS AND SHALL STAKE OUT THE WORK PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY DEPTH TO LEDEGE FOR FTO ELEVATION FROM TO REINFORCEMENT FABRICATION.
- PROTECT IN-PLACE FOUNDATIONS AND SLABS FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETED.
- REINFORCEMENT SHALL BE ASTM A118 GRADE 60 YIELD STRESS 60,000 PSI.
- INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO CONCRETE PLACEMENT. NOTIFY ARCHITECT OF COMPLETION 24 HOURS PRIOR TO THE SCHEDULED CONCRETE POUR OF THE INSTALLATION OF THE REINFORCEMENT.
- CLEAN CONCRETE PROTECTION SHALL BE 3" ON FTOS AND WALLS POURED AGAINST EARTH OR WATER AND 1" WHEN POURED AGAINST FORMS AND WEATHER. REINFORCEMENT OPPOSITE SIDE FROM EARTH (W/OS) SHALL BE 1-1/2" MAXIMUM. OTHER CLEARANCES TO MEET JOB CONDITIONS.
- PROVIDE BAR SUPPORTS, SPACERS AND ACCESSORIES RECOMMENDED BY THE AIA DETAILING MANUAL. ALL DETAILS NOT COVERED BY THESE DRAWINGS OR THESE NOTES SHALL BE IN ACCORDANCE WITH THE AIA MANUAL.
- ALL CONTINUOUS REINFORCED BARS SHALL BE LAPPED 33 DIAMETERS AT SPLICES AND AT CORNERS UNLESS OTHERWISE SHOWN. TERMINATE CONTINUOUS BARS AT NON-CONTINUOUS ENDS WITH STANDARD HOOKS. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS AT SUPPORTS AS REQUIRED.
- PROVIDE 2" CHAIRS ON ALL EXPOSED CORNERS.
- EXPOSED FACES OF ALL SITE CONCRETE TO BE "SMOOTH FORMED" AND "SMOOTH RUBBED" FINISH UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL SUBMIT CHECKED SHOP DRAWINGS AND PLACE PLANS IN TRIPLICATE FOR ALL REINFORCEMENT TO THE ARCHITECT BEFORE FABRICATION.
- CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL OR VERTICAL CONSTRUCTION JOINTS EXCEPT WHERE SHOWN OTHERWISE. CONSTRUCTION JOINTS SHALL BE 4' APART AND KEYS, CONTROL JOINTS SHALL BE A MAX. OF 3' APART.
- ALL SPECIFICATIONS NOT COVERED BY THESE DRAWINGS OR NOTES SHALL BE IN ACCORDANCE WITH ACI 318-11, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PREVENT FLOTATION OF STRUCTURES DURING CONSTRUCTION AND SHALL MAINTAIN EXCAVATIONS SUFFICIENTLY FREE OF WATER BY PUMPING OUT TO ALLOW PLACING AND CURING CONCRETE.
- CONTROL SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SO THAT FOUNDATION WORK IS DONE ON DRY AND UNDISTURBED SUBGRADE MATERIAL.
- TRIM AND FINISH BOTTOM OF EXCAVATION WITH HAND SHOVEL.
- BACKFILL AND COMPACT UNDER STRUCTURAL ELEMENTS IN 4" LIFTS.
- SEX AND PLACE CONCRETE ONLY WHEN TESTING AGENCY TECHNICIANS IS PRESENT.
- DO NOT TACK WELD REINFORCEMENT.



PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION
PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
66 Hoising Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 863-8424

CO-DEVELOPERS:
Hoising Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 246-2113

Architect:
Wideman & Widener Hoising Trust
65 Bings Street
Burlington, VT 05301
Phone: (802) 246-2113

ARCHITECT:
St. Architects
5124 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 985-5595

CIVIL ENGINEER:
Stevens and Associates
85 Main Street
Burlington, VT 05301
Phone: (802) 257-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 579-4343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 555-5991

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 555-5991

REGISTERED PROFESSIONAL ENGINEER
No. 7701
Date: 03/15/2017

PURPOSE OF DRAWING:
BID DOCUMENT SET

DATE: 03.15.17

REVISIONS

SITE DETAILS

C-7

GENERAL NOTES:

- SUBSURFACE INVESTIGATION WAS CONDUCTED FOR THE PURPOSE OF DESIGN AND INDICATES SUBSURFACE CONDITIONS ONLY AT THE LOCATIONS SHOWN. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY UNEXPECTED CONDITIONS ENCOUNTERED DURING CONSTRUCTION THAT MAY VARY FROM THOSE SHOWN ON THE CONTRACT DRAWINGS AND AT THE CONTRACTOR'S RISK.
- EXISTING UTILITIES HAVE BEEN SHOWN FROM THE BEST AVAILABLE DATA AND ARE APPROXIMATE ONLY. THE CONTRACTOR AT ALL OPERATIONS SHALL ANTICIPATE THE EXISTENCE OF UTILITIES THAT ARE NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UNDERGROUND UTILITIES CROSSING THE PROJECT.
- EXISTING FENCES, POLES, SIGNS, MAILBOXES, CURBS, SWINGS, PAYMETER, LAWN AREAS AND OTHER SITE FEATURES SHALL BE REMOVED AND REPLACED OR REPAIRED AND RESTORED IN KIND BY THE CONTRACTOR AS REQUIRED DURING THE CONSTRUCTION WORK. ALL UTILITIES SHALL BE PROTECTED WITH LITE WORK PROVIDED FOR IN CONTRACT DOCUMENTS.
- CONTRACTOR TO COORDINATE WITH ALL LOCAL PERMITS, STATE PERMITS AND NEIGHBORING PROPERTIES PRIOR TO CONSTRUCTION. WHERE NECESSARY TO TEMPORARILY INTERRUPT SERVICE, NOTIFY THE UTILITY TO TEMPORARILY INTERRUPT SERVICE, AND NOTIFY THE UTILITY AND ALL AFFECTED PERSONS PRIOR TO INTERRUPTION.
- MAINTAIN SERVICE OF ALL UTILITIES DURING CONSTRUCTION. WHERE NECESSARY TO TEMPORARILY INTERRUPT SERVICE, NOTIFY THE UTILITY TO TEMPORARILY INTERRUPT SERVICE, AND NOTIFY THE UTILITY AND ALL AFFECTED PERSONS PRIOR TO INTERRUPTION.
- DO NOT OBSTRUCT ACCESS TO PRIVATE DRIVEWAYS.
- PROTECT ALL BARBED WIRE, FENCES, WARNING LIGHTS, SIGNS AND UNPAVED TRAFFIC CONTROL DEVICES NECESSARY TO PROTECT THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS OPERATIONS AND ACTIVITIES TO THE SITE AS SHOWN ON THE DRAWINGS. STORAGE AND PROTECTION OF MATERIALS AND STRUCTURES OFF THE SITE SHALL BE BY OTHER ARRANGEMENTS OF THE CONTRACTOR.
- EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR CONFLICTS OF LOCATIONS AND DIMENSIONS OF PROJECT REQUIREMENTS NOT SHOWN ON THE SITE DRAWINGS.
- CONTRACTOR TO ENSURE THAT ALL LOCAL PERMITS, STATE PERMITS AND NEIGHBORING PROPERTIES PRIOR TO CONSTRUCTION. WHERE NECESSARY TO TEMPORARILY INTERRUPT SERVICE, NOTIFY THE UTILITY TO TEMPORARILY INTERRUPT SERVICE, AND NOTIFY THE UTILITY AND ALL AFFECTED PERSONS PRIOR TO INTERRUPTION.
- PROTECT TEMPORARY OR PERMANENT SUPPORTS, WHETHER SIGNING, SHEETING OR BRACING SO THAT NO HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OCCURS TO EXISTING STRUCTURES, STREETS OR UTILITIES ADJACENT TO THE PROJECT SITE.
- PROTECT EXISTING UTILITY LINES, FENCES AND OTHER EROSION CONTROL AS REQUIRED TO CONTROL EROSION AND SILT.
- THE CONTRACTOR SHALL BE RESPONSIBLE IN DETERMINING ANNUAL AND SEASONAL VARIATIONS IN GROUND WATER LEVELS. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY UNEXPECTED CONDITIONS ENCOUNTERED DURING CONSTRUCTION THAT MAY VARY FROM THOSE SHOWN ON THE CONTRACT DRAWINGS AND AT THE CONTRACTOR'S RISK.
- FABRIC AND KEY PORTIONS OF THE WORK SHALL NOT BE STARTED UNTIL CHECKED SHOP DRAWINGS COVERING THE WORK HAVE BEEN SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

EROSION CONTROL GENERAL NOTES:

- REFER TO SPECIFICATION SECTION 02110 - EROSION PREVENTION & SEDIMENT CONTROL PLAN.
- TEMPORARY EROSION CONTROL SHALL BE ACCOMPLISHED THROUGH THE USE OF SILT FENCES, HAY OR STRAW MULCH, EROSION CONTROL BLANKET (ECB), CHECK STRUCTURES, SLOPE STABILIZATION, STABILIZED CONSTRUCTION ENTRANCE, SEDIMENT TRAP, TEMPORARY AND PERMANENT OVERFLOW DITCHES. THE EROSION CONTROL SPECIFIED AND DETAILED ON THE PLANS SHALL BE CONSIDERED THE MINIMUM REQUIRED AND IS TO BE USED AS A GUIDELINE ONLY. ADDITIONAL MEASURES MAY BE REQUIRED BY FIELD CONDITIONS. PROVIDE ADDITIONAL EROSION CONTROL AS REQUIRED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DURING CONSTRUCTION & UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EXTRA EROSION CONTROL MATERIALS (SILT FENCE, CRUSHED STONE, MULCH, HAY, ROLLED EROSION CONTROL PRODUCT) ARE PRESENT ON SITE AT ALL TIMES FROM THE COMMENCEMENT OF EARTHWORK THROUGH FINAL STABILIZATION TO ENABLE RAPID RESPONSE TO PROBLEM SITUATIONS.
- ALL EROSION CONTROL PROCEDURES SHALL CONFORM TO APPLICABLE SECTIONS OF THE "EROSION AND SEDIMENT CONTROL DESIGN HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE AND/OR THE "DESIGN HANDBOOK FOR SOIL EROSION AND SEDIMENT CONTROL".
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED FOR THE PROTECTIVE PRACTICAL PERIOD AT ANY GIVEN TIME DURING THE DEVELOPMENT. EXPOSED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 48 HOURS OF FINISH GRADING. AREAS THAT WILL NOT BE BROUGHT TO FINISH GRADE FOR 1 TO 31 DAYS WILL BE TEMPORARILY MULCHED/SEED. AREAS THAT WILL NOT BE BROUGHT TO FINISH GRADE FOR 31 DAYS OR LONGER WILL BE TEMPORARILY SEED AND MULCHED/SEED.
- ALL DEPOSITED ON SITE SHALL BE COLLECTED AND REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR WATER CONTROL DURING ALL PHASES OF CONSTRUCTION. NO WORK SHALL BE PERMITTED IN FLOWING WATER. DIVERSION SHALL BE ACCOMPLISHED BY THE USE OF SAND BAGS, BERMS, TEMPORARY CULVERTS OR BY PUMPING. ALL DIVERTED WATER SHALL BE DISCHARGED TO SEGMENT CONTAINMENT BASIN BASIN, STONE FILL OR OTHER SUITABLE ENERGY DISSIPATOR SURROUNDING BY A CONTAINMENT BERM.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

MAINTENANCE OF EROSION CONTROL STRUCTURES:

- SILT FENCES ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS. WHEN SEDIMENT ACCUMULATION REACHES A DEPTH OF 1" BEHIND THE SILT FENCE, THE SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF. OBTAIN APPROVAL FROM THE ENGINEER PRIOR TO REMOVAL.
- STONE CHECK DAMS SHALL BE REPAIRED WHEN THEY BECOME CLOGGED WITH SOIL PARTICLES OR AS DIRECTED BY THE ENGINEER. CLEAN SILT AND SOIL FROM UPSTREAM FACE OF STONE CHECK DAMS WHEN ACCUMULATION IS NOTICEABLE.
- KEEP ALL DRAINAGE ENTRANCES FREE OF DEBRIS DURING CONSTRUCTION. SHEEP ROADS AS FORMED OR DIRECTED BY THE ENGINEER.
- CLEAN SEDIMENT TRAPS AND TEMPORARY OVERFLOW DITCHES WHEN THEY BECOME FULL TO 50% OF THEIR ORIGINAL VOLUME OR AS DIRECTED BY THE ENGINEER.
- RESPONSE TO SLOPE FAILURE: ADDITIONAL STAPLES IF THEY BECOME MOIST. REPAIR DAMAGE CAUSED BY WATER EROSION OR WIND AT THE END OF EACH DAY.
- REPAIR AND REPLACE STONE INLET PROTECTION WHEN STONES BECOME CLOGGED WITH SEDIMENT.
- REPAIR ALL DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION ACTIVITIES AT OR NEAR THE END OF EACH WORKING DAY. DAMAGE TO ANY EROSION CONTROL MEASURE AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED IMMEDIATELY.

WINTER EROSION CONTROL:

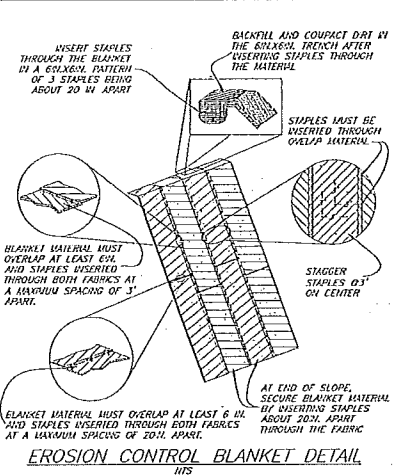
- ALL EROSION CONTROL FEATURES SUCH AS SILT FENCES AND STONE CHECK DAMS MUST BE IN PLACE PRIOR TO GROUND FREEZING.
- ALL EXPOSED AREAS OF THE SITE SHALL BE SEED AND MULCHED FROM SEPTEMBER 15 TO MAY 15 REGARDLESS OF WHETHER FINISHED GRADING HAS BEEN COMPLETED. WORK MAY CONTINUE THROUGH THIS PERIOD WITH WRITTEN PERMISSION FROM THE ENGINEER AND PROVIDE THE FOLLOWING WINTER EROSION CONTROL AS REQUIRED:
 - WINTER SEEDS SHALL BE SUBSTITUTED FOR ANY OTHER TEMPORARY ANNUAL GRASS SEEDS.
 - ALL EXPOSED EARTH SHALL BE MULCHED WITH 4 INCHES OF HAY OR 3 TRAYS. SLOPES GREATER THAN 10% SHALL BE COVERED WITH STABLE EROSION CONTROL MAT (NORTH AMERICAN GREEN SIS OR APPROVED EQUIVALENT).
 - EARTHWORK SHALL ONLY TAKE PLACE DURING SUITABLE CONDITIONS, I.E. THESE SHALL BE DURING WINTER MONTHS (NOVEMBER THROUGH FEBRUARY), WET SOIL, OR THAW.
 - PROVIDE NO. 5 STABILIZED ACCESS AROUND BUILDINGS BY INSTALLING A 4" LAYER OF 1/2" DIA. OR SMALLER STONE.

CONSTRUCTION SPECIFICATIONS:

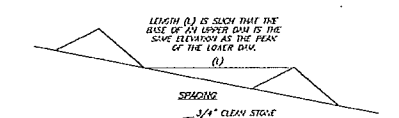
1. 10" WIDE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH 1/2" DIA. WIRE. WIRE FENCE REINFORCEMENT REQUIRED WITHIN 100' UP-SLOPE OF RECEIVING WATER.
2. FILTER CLOTH TO BE FASTENED SECURELY TO 10" WIDE WIRE FENCE WITH 1/2" DIA. WIRE. 6" MAXIMUM HOLE SIZE.
3. WHEN 2 SECTIONS OF THE FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND TAPPED. FILTER CLOTH SHALL BE WOUND 100% OR APPROVED EQUIVALENT.
4. PREPAREDNESS SHALL BE GEOTEX, EMERGENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT REACHES HALF OF HEIGHT.

KEY IN LAYING AT TOP OF SLOPE:

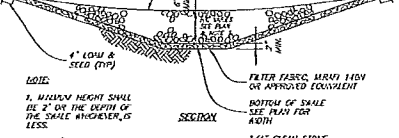
1. MULCH NETTING TO BE PAPER, THIN, PLASTIC OR WOOD FIBER.
2. STAPLES TO BE 10" DIA. 6" LONG.



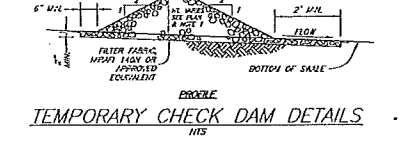
EROSION CONTROL BLANKET DETAIL



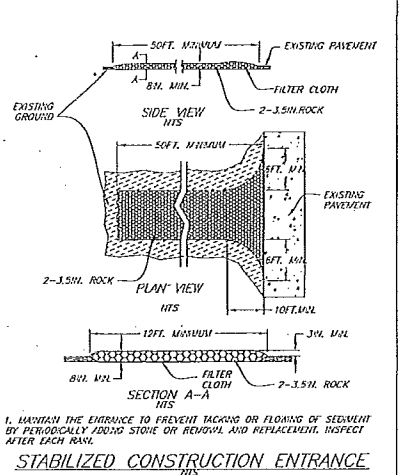
TEMPORARY CHECK DAM DETAILS



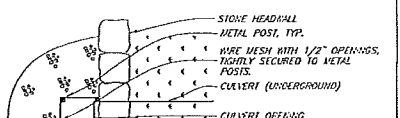
STABILIZED CONSTRUCTION ENTRANCE



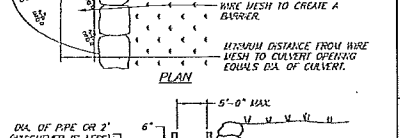
CULVERT INLET PROTECTION



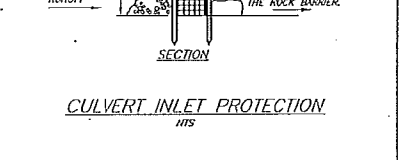
STONE INLET PROTECTION



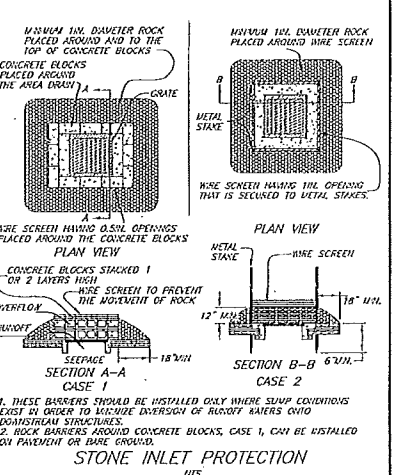
DRAIN PIPE TRENCH DETAIL



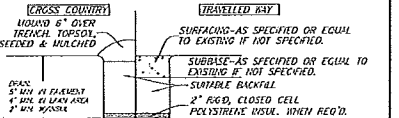
CATCH BASIN DETAIL



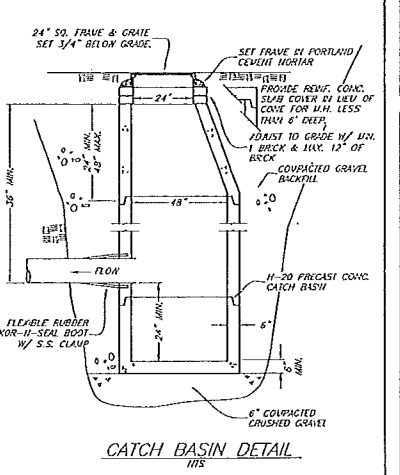
GRASSED CHANNEL DETAIL



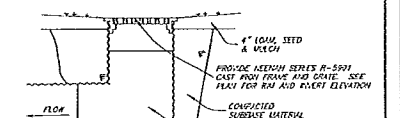
DETENTION BASIN & OUTLET



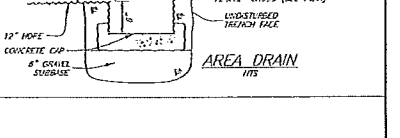
DRY POND BERM



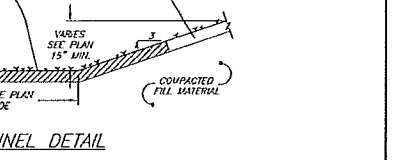
AREA DRAIN



STOCKPILE MOUND



EXISTING TREE PROTECTION



OUTLET CONTROL STRUCTURE

PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
c/o Housing Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 863-8424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 863-8424

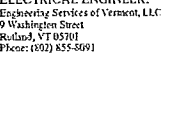
ARCHITECT:
S2 Architects
68 Ring Road
Burlington, VT 05401
Phone: (802) 246-2113

CIVIL ENGINEER:
Stevens and Associates
95 Main Street
Burlington, VT 05401
Phone: (802) 237-9320

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
31 Kinsley Lane
Williston, VT 05495
Phone: (802) 879-4343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-5691

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-5691



PURPOSE OF DRAWING:
B.D. DOCUMENTS SET

DATE: 03.15.17

REVISIONS

EROSION CONTROL AND DRAINAGE DETAILS

C-8

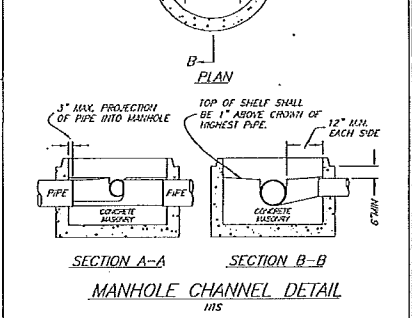
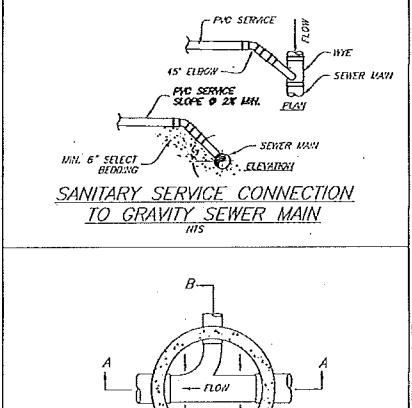
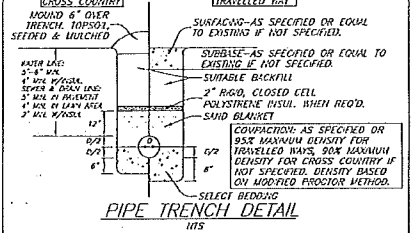
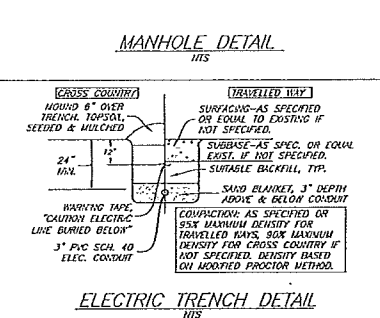
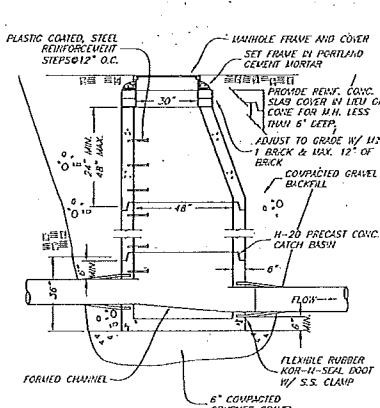
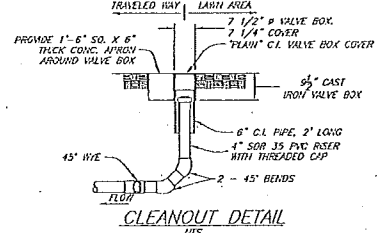
SEWER SYSTEM GENERAL NOTES:

- CONSTRUCTION: PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE. THE PIPE SHALL BE LAID AT CONTINUOUS AND CONSTANT GRADE AT THE SLOPES SHOWN ON THE PLAN.
- LEAKAGE TESTING: THE LEAKAGE INWARD AND OUTWARD OF A GRAVITY SEWER INCLUDING MANHOLES SHALL NOT EXCEED 50 GALS AN INCH DIA. UPON COMPLETION OF CONSTRUCTION, A SEWER LINE SHALL BE TESTED IN ACCORDANCE WITH ONE OF THE FOLLOWING PROCEDURES:
 - WATER TEST:
 - FLUSH OR CAP ALL SERVICE LATERALS, STUBS AND FITTINGS. PLACE ADEQUATE BRACINGS TO WITHSTAND THRUST FORCES.
 - A TAPPED PLUMBER'S PLUG SHOULD BE INSERTED IN THE DOWNSTREAM MANHOLE INLET SEWER. THE WATER SUPPLY CONNECTION IS MADE AT THIS POINT, BUT NEVER DIRECTLY FROM A PUBLIC WATER SUPPLY SYSTEM OR FROM A WATER MAIN. THE WATER SHALL BE SUPPLIED TO THE SEWER THROUGH A BACKFLOW PREVENTER IN USE.
 - A STANDPIPE IS TIGHTLY CONNECTED AT THE UPSTREAM END OF THE SEWER. THE HEIGHT OF THE STAND PIPE SHALL BE AT LEAST TWO FEET HIGHER THAN ANY POINT ON THE SEWER OR TWO FEET HIGHER THAN THE HIGHEST GROUND WATER TABLE, WHICHEVER IS HIGHER. A MANHOLE MAY BE USED AS A STANDPIPE.
 - WATER IS ADDED AT THE DOWNSTREAM CONNECTION IN ORDER TO AVOID TRAPPING AIR BUBBLES OR POCKETS. THE LINE SHALL BE FLEED TO THE ELEVATION DESIGNATED IN THE STANDPIPE.
 - ALLOW THE LINE TO STAND WITH WATER FOR AT LEAST A TWO HOUR STABILIZATION PERIOD OR SUCH SHORTER PERIOD AS MAY BE REQUIRED TO ACHIEVE STABLE READINGS OF WATER LEVEL OVER THREE CONSECUTIVE 15 MINUTE PERIODS. THIS ALLOWS AIR TO ESCAPE AND ABSORPTION TO TAKE PLACE.
 - MARK THE SEWER LINE TO THE REFERENCE MARK AND CONTINUE THE TEST FOR AT LEAST ONE HOUR. MAINTAIN THE MINIMUM HEAD THROUGHOUT THE TEST, ADDING ANY VOLUME OF WATER REQUIRED AND INCLUDING THAT VOLUME IN THE LEAKAGE.
 - CONVERT THE LEAKAGE TO THE UNITS SPECIFIED.
 - AIR TESTING: THE PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH VERMONT ENVIRONMENTAL PROTECTION RULES.

MATERIALS:

- SELECT BEDDING - SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM AND ORGANIC MATTERS. WHEN ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, USE GRADED SCREENED GRAVEL OR CRUSHED STONE 10 ECHT TO 1/2 INCHES.

100% PASSING	1/2 INCH SCREEN
95% PASSING	3/8 INCH SCREEN
75% PASSING	3/4 INCH SCREEN
40% PASSING	3/8 INCH
4% PASSING	NO. 20
- SAID BEDDING - CLEAN SAND FREE FROM ORGANIC MATTER AND SO THAT 100% PASS 4 TO 20 MESH AND NOT MORE THAN 15% PASS A NO. 20 MESH. SAND MAY BE OBTAINED FROM CAST IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT THE SAND IS CLEANER THAN 1/2 INCH CONTACT WITH THE PIPE.
- COMMON FILL MATERIAL SHALL BE THE NATURAL EXCAVATED MATERIAL EXCLUDING DEBRIS, ORGANIC MATTER AND CLAY & STONES LARGER THAN 4 INCHES. THE CONTRACTOR SHALL COMPACT THE TRENCH BACKFILL TO 95% MODIFIED PROCTOR MAXIMUM DENSITY.
- PVC - POLYVINYL CHLORIDE PIPE, ASTM D1511, SCH 40; SOLVENT WELDED PER MANUFACTURER'S SPECIFICATIONS.
- PVC - POLYVINYL CHLORIDE PIPE, ASTM F4111, SCH 40; GASKET JOINT PER MANUFACTURER'S SPECIFICATIONS.
- PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE. THE PIPE SHALL BE LAID AT CONTINUOUS AND CONSTANT GRADE AT THE SLOPES SHOWN ON THE PLAN.
- MATERIALS OR EQUIPMENT IDENTIFIED ON THE PLANS BY REFERENCE TO MANUFACTURER'S NAMES AND NUMBERS ARE REFERRED TO ESTABLISHED STANDARDS. MATERIALS AND EQUIPMENT OF OTHER MANUFACTURERS THAT ARE, IN THE OPINION OF THE ENGINEER OF EQUAL QUALITY AND FUNCTIONALITY ARE ACCEPTABLE. THE CONTRACTOR SHALL SUBMIT SUPPORTING DATA TO THE ENGINEER TO DETERMINE EQUALITY AND WILL BE RESPONSIBLE FOR ALL ORIGINAL COORDINATION AND/OR FITTING TOGETHER IS REQUIRED.



CONSTRUCTION NOTES:

- PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINED IN ACCORDANCE WITH THE APPROPRIATE MANUFACTURER'S INSTALLATION GUIDE.
- VERIFY THAT ALL COMPONENTS MAY BE INSTALLED AT THE LOCATIONS INDICATED AT THE LOCATIONS INDICATED ON THE DRAWINGS. ON THE REVERSE, AND THAT PROPER OPERATION OF THE VALVES WILL BE POSSIBLE AFTER INSTALLATION. IN THE EVENT OF INTERFERENCE, ADEQUATELY NOTIFY THE ENGINEER. DO NOT PROCEED WITH INSTALLATIONS UNLESS CONDITIONS ARE SATISFACTORY.
- WATER SERVICE CONNECTION RECORD:
 - HORIZONTAL MEASUREMENT AND RECORD 3 FEET TO ALL VALVES AND STOPS AND TO THE END OF EACH WATER SERVICE. WHEN POSSIBLE, THESE TIES SHALL BE TO THE BUILDING TO BE SERVED BY THE SERVICES; OTHERWISE, TO PENALWAYS, PHYSICAL OBJECTS ON THE SAME SIDE OF THE STREET AS THE END OF THE WATER SERVICE.
 - VERTICAL MEASUREMENT: THE DEPTH OF EACH WATER SERVICE AND RECORD. MEASUREMENTS SHALL BE MEASURED FROM THE PIPE CENTERLINE TO GROUND SURFACE. ALSO, PROVIDE CENTERLINE ELEVATIONS, USING THE SAME DATUM AS THAT USED ON THE PLANS. ACCURACY OF VERTICAL MEASUREMENTS SHALL BE PLUS OR MINUS 1/8 INCH.
 - OTHER RECORDS: RECORD LENGTH OF EACH WATER SERVICE AND OTHER PERTINENT INFORMATION, AS REQUIRED ON THE SKETCH OF WATER SERVICE CONNECTION TO BE PROVIDED BY THE CONTRACTOR.
- APPROVE ENGINEER ACCESS TO THE WORK SITE THAT HE MAY SPOT-CHECK THE INSTALLATIONS, OR CHECK EACH LENGTH OF PIPE IMMEDIATELY AFTER IT HAS BEEN INSTALLED, OR CHECK AT ANY TIME AFTER INSTALLATION. CALL ENGINEER THROUGH DISTRICT OR TRAILING OPERATION 570-2625.

DISINFECTION:

- DISINFECT ALL WATER LINES IN ACCORDANCE WITH AWWA C651. NOTIFY ENGINEER AND TOWN OR WATER UTILITY OFFICE PRIOR TO DISINFECTION.
- PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION OR OPERATION.
- FILL THE MAIN COMPLETELY WITH POTABLE WATER TO REMOVE ALL AIR. FLUSH THE LINE AT A MINIMUM VELOCITY OF 2.5 FEET PER SECOND. REMOVE THOSE MATERIALS THAT MAY HAVE ENTERED THE PIPE.
- CONTAMINATE ANY RESIDUAL CONTAMINATION BY THE CONTINUOUS FEED OR SLUG METHOD EXCEPTING THE CHLORINE AND NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE MAIN. DO NOT USE THE TABLET METHOD. RETAIN THE CHLORINATED WATER IN THE MAIN FOR THE SPECIFIED CONTACT TIME. FLUSH THE CHLORINATED WATER FROM THE MAIN.
- PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACK FLOW DUE TO HYDROSTATIC PRESSURE TESTS AND DISINFECTION PROCEDURES.
- DEFERRED: THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION. REPEAT DISINFECTION IF TEST RESULTS ARE UNACCEPTABLE.
- CONNECT THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM.

SCHEDULE:

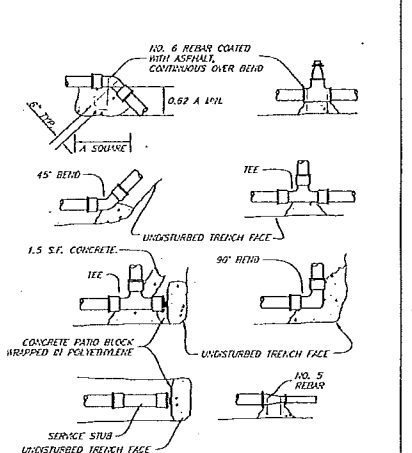
- NOTIFY OWNER, ENGINEER AND TOWN UTILITY DEPARTMENT THAT CONSTRUCTION IS TO BEGIN ON WATER SYSTEM. FIVE DAYS NOTICE TO THE TOWN IS REQUIRED.
- NOTIFY ALL PROVIDE TEMPORARY SERVICE TO AFFECTED AREAS BEFORE CONSTRUCTION IS TO BEGIN AND WILL OPERATE ALL WATER MAIN VALVES.
- IN THE EVENT THAT A WATER MAIN OR WATER SERVICE MUST BE SHUT OFF BECAUSE OF AN ACCIDENTAL INTERRUPTION, IMMEDIATELY NOTIFY ENGINEER AND WATER UTILITY OR PRIVATE OWNER AS APPLICABLE, TO MAKE ARRANGEMENTS TO RESTORE SERVICE AND TO PROVIDE TEMPORARY SERVICE, IF REQUIRED.
- THE ENGINEER RESERVES THE RIGHT TO RELOCATE AND LOCATIONS OF ALL PIPING, MANHOLES, STRUCTURES AND APPURTENANCES. NOTIFY ALL LOCATIONS AND SUBMITTER AND NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- APPROVAL OF ENGINEER IS REQUIRED PRIOR TO CHANGING THE LOCATION OF ANY OF THE WORK DUE TO FIELD CONDITIONS. CHANGES BY PIPE SIZES ARE PROHIBITED WITHOUT A WRITTEN CONSENT FROM ENGINEER.
- ALL INSTALLATIONS SHALL BE COMPLETELY CONNECTED SYSTEMS INCLUDING CONNECTIONS TO VALVES, EQUIPMENT, STRUCTURES, EXISTING FACILITIES AND APPURTENANCES SPECIFIED IN OTHER SECTIONS TO RESULT IN A SATISFACTORY OPERATING INSTALLATION.

PRESSURE TESTING:

- CONTACT ENGINEER TO WITNESS LEAKAGE TESTING. 24 HOUR ADVANCE NOTICE REQUIRED.
- VALVES WHICH CARRY WATER OR LIQUID UNDER PRESSURE SHALL BE FILLED WITH WATER AND SUBJECTED TO A PRESSURE OF 150 PSI OR 1/2 THE NORMAL WORKING PRESSURE, WHICHEVER IS GREATER, FOR A PERIOD OF TWO HOURS OR LONGER AS MAY BE NECESSARY TO EXHAUST THE VALVE FOR LEAK TEST PRESSURE SHALL NOT BE MORE THAN 1/2 PSI FOR DURATION OF TEST.
- ALL AIR SHALL BE EXPELLED FROM THE LINE.
- ALLOWABLE LEAKAGE: NO PIPE INSTALLATION WILL BE ACCEPTED IF THE LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:

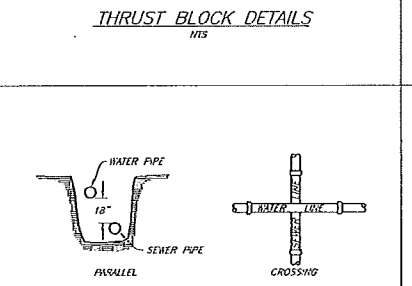
$$L = \frac{P \times D \times L \times F}{1000 \times H}$$

WHERE:
 L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
 D = NOMINAL DIAMETER OF THE PIPE, IN INCHES
 L = LENGTH OF PIPE TESTED, IN FEET
 P = TEST PRESSURE, IN POUNDS PER SQUARE INCH (GAGE)
 H = HEAD, IN FEET
- SHOWN LEAKS GREATER THAN ALLOWED BY ABOVE FORMULA BE FOUND, FAULTY JOINTS SHALL BE REPAIRED EVEN TO THE EXTENT OF BRASSING AND REMAINING THE JOINT, CANNING OF THREADS OR THE USE OF CHEMICAL COMPOUNDS TO CORRECT LEAKS WILL NOT BE PERMITTED. THE CONTRACTOR SHALL REPLACE DEFECTIVE VALVES AND THE TESTS SHALL BE REPEATED UNTIL TEST REQUIREMENTS ARE MET TO THE SATISFACTION OF THE ENGINEER.
- PIPE SHALL BE GIVEN PRESSURE AND LEAKAGE TESTS IN SECTIONS OF APPROVED LENGTH IN ACCORDANCE WITH AWWA C600. FOR THESE TESTS, THE CONTRACTOR SHALL MAINTAIN AND INSTALL REMOVABLE TEMPORARY TEST PIPES OR CAPS FOR THE PIPELINE. ALL NECESSARY EQUIPMENT, PUMPS, PIPE CONNECTIONS AND ALL LABOR REQUIRED WITHOUT ADDITIONAL COMPENSATION.



PIPE SIZE (INCH)	CONCRETE				MASONRY			
	1'	2'	3'	4'	1'	2'	3'	4'
4" DIA.	0.43	0.22	0.11	0.05	0.06	0.03	0.015	0.008
6" DIA.	0.65	0.33	0.17	0.08	0.08	0.04	0.02	0.01
8" DIA.	0.87	0.44	0.22	0.11	0.11	0.05	0.025	0.013
10" DIA.	1.09	0.55	0.28	0.14	0.14	0.07	0.035	0.018
12" DIA.	1.31	0.66	0.34	0.17	0.17	0.08	0.04	0.02
14" DIA.	1.53	0.77	0.39	0.20	0.20	0.10	0.05	0.025
16" DIA.	1.75	0.88	0.45	0.23	0.23	0.11	0.06	0.03

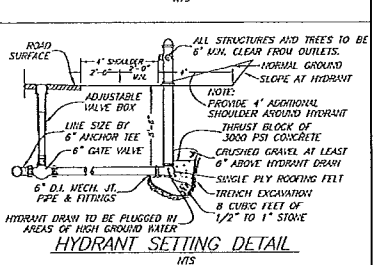
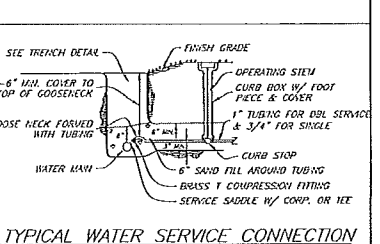
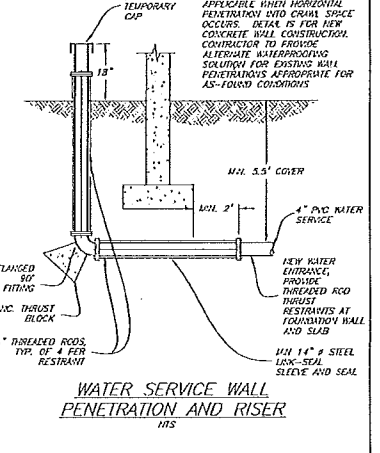
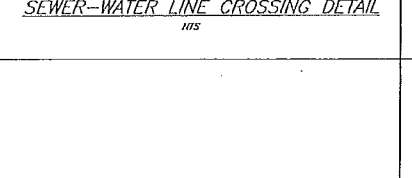
- FIGURES ARE MINIMUM SQUARE FEET OF BEARING AREA REQUIRED.
- BEARING AREAS BASED ON SAND SOILS AT 2000 PSF AND BEDROCK AT 15,000 PSF AND 100% DENSITY OF BEDROCK TO MEET OTHER CONDITIONS UNDISCOUNTED.
- CONCRETE TO BE 3000 PSI Poured on UNDISTURBED FACE, AND SHALL BE A MINIMUM THICKNESS OF 12".
- BEARING AREAS BASED ON HYDROSTATIC PRESSURE OF 200 PSF.
- FOR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, THRUST BLOCK MUST BE FULLY EXPOSED EXCEPT EXPOSED SURFACE AND EXISTING THRUST BLOCK TO UNDISTURBED MATERIAL. ALL JOINTS SHALL BE COVERED WITH CONCRETE.
- NO EDGES AND TIES, EXISTING THRUST BLOCKS FULL LENGTH OF FITTING.
- THRUSTED ROD SHALL BE 1/2" DIA. AND 1/2" DIA. RESTRAINT TIES TO WITHIN 4" FROM CIVIL. THRUSTED RODS AND TIES TO BE FULLY COVERED WITH PAINT.
- THRUST RESTRAINT IS REQUIRED FOR ALL TIES, EDGES, REDUCERS, CAPS, PLUGS, OR CROSSIES.
- INSTALL LET HOOPS INTO THRUST BLOCKS AT END CAPS AND PLUGS.
- PLACE CONCRETE TIE BARS AT FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCK.
- MESA-LUG RESTRAINT GLANDS ARE REQUIRED FOR ALL MECHANICAL JOINTS. THESE GLANDS DO NOT REPLACE THE REQUIREMENTS FOR THRUST RESTRAINT.
- ALL FITTINGS SHALL BE WRAPPED IN POLYETHYLENE OR BULBULUS PAPER PRIOR TO INSTALLATION OF CONCRETE RESTRAINT.



WATER AND SEWER SEPARATION:

- PARALLEL INSTALLATION: WATER MAINS AND WATER SERVICES SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER OR MANHOLE. THIS DISTANCE CAN BE REDUCED TO THE (5) FEET FOR STORM SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- CROSSINGS: WATER MAINS OR WATER SERVICES CROSSING SANITARY OR STORM SEWER PIPES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER. AT CROSSINGS, ONE FULL LENGTH OF WATER PVC SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF THE SEWER MAIN IS OVER THE WATER MAIN, THE FIRST SEWER JOINT SHALL BE LOCATED ON THE OTHER SIDE OF THE WATER MAIN OR WATER SERVICE MUST BE CONCRETE ENCASED. SPECIAL STRUCTURAL SUPPORT FOR THE WATER AND SEWER PIPES MAY BE REQUIRED.

SEWER-WATER LINE CROSSING DETAIL:



PUTNEY LANDING APARTMENTS & NOYES HOUSE RENOVATION

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
66 Haining Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 463-8424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #100
Burlington, VT 05401
Phone: (802) 246-1113

Windham & Wheeler Heating Truss
43 Bling Street
Burlington, VT 05401
Phone: (802) 246-1113

ARCHITECT:
52 Ardmore Rd.
5224 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 955-5555

CIVIL ENGINEER:
Stevens and Associates
95 Main Street
Burlington, VT 05401
Phone: (802) 257-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
William, VT 05415
Phone: (802) 879-4343

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-5991

ELECTRICAL ENGINEER:
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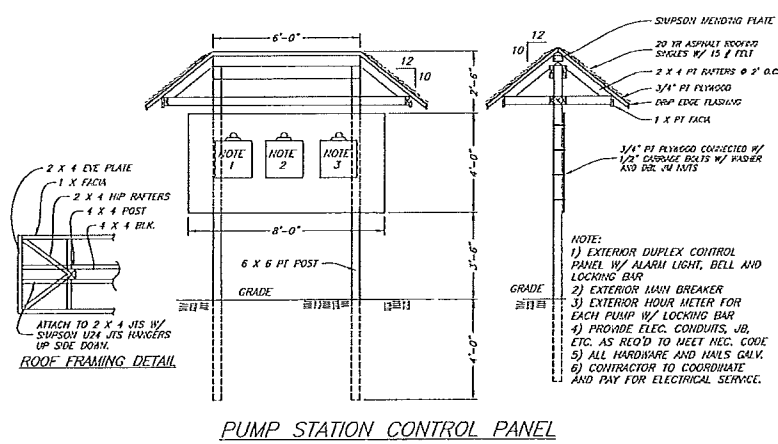


PURPOSE OF DRAWING:
BUSH 15, 2017
B-D DOCUMENTS SET

DATE: 03.15.17

REVISIONS

WATER AND SEWER DETAILS
C-9



**PUTNEY LANDING
APARTMENTS & NOYES
HOUSE RENOVATION**

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
c/o Housing Vermont
100 Bark Street #400
Burlington, VT 05401
Phone: (802) 853-8124

CO-DEVELOPERS:
Housing Vermont
100 Bark Street #400
Burlington, VT 05401
Phone: (802) 853-8124

Winthron & Winthron Housing Trust
62 Ring Street
Brattleboro, VT 05301
Phone: (802) 246-2113

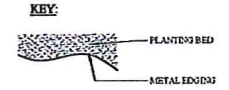
ARCHITECT:
S2 Architecture
5214 Shelburne Rd.
Shelburne, VT 05482
Phone: (802) 955-5555

CIVIL ENGINEER:
Stevens and Associates
95 Main Street
Brattleboro, VT 05302
Phone: (802) 237-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05495
Phone: (802) 879-4313

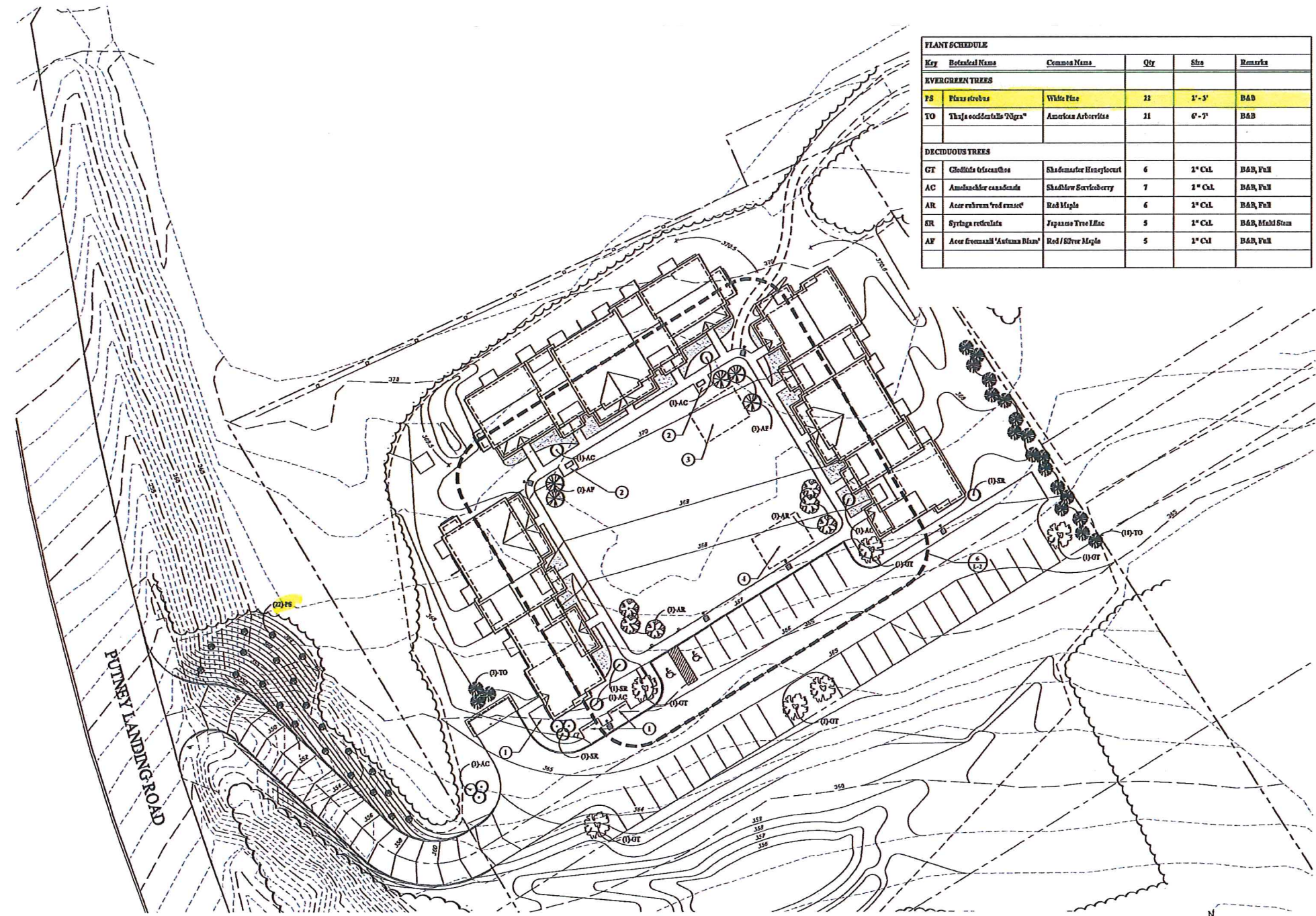
MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-9091

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-9091

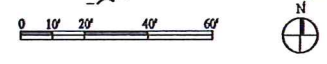


- NOTES:**
- ① NEW BENEATH OF CONCRETE PAD
 - ② BENCH ON CONCRETE PAD
 - ③ PLAY AREA
 - ④ COMMUNITY GARDEN

Key	Botanical Name	Common Name	Qty	Size	Remarks
EVERGREEN TREES					
FS	<i>Pinus strobus</i>	White Pine	21	1'-3'	B&B
TO	<i>Thuja occidentalis 'Sage'</i>	American Arborvitae	11	6'-7'	B&B
DECIDUOUS TREES					
GT	<i>Gladiolus triflorus</i>	Shademaster Honeylocust	6	1" Cal.	B&B, Full
AC	<i>Ampelodesmos canadensis</i>	Shadblow Serviceberry	7	1" Cal.	B&B, Full
AR	<i>Acer rubrum 'Red Sunset'</i>	Red Maple	6	1" Cal.	B&B, Full
SR	<i>Syringa reticulata</i>	Japanese Tree Lilac	5	1" Cal.	B&B, Mould Stem
AF	<i>Acer freemanii 'Autumn Blaze'</i>	Red / Silver Maple	5	1" Cal.	B&B, Full



① **LANDSCAPE PLAN**
SCALE: 1" = 20'



**75% CD
PROGRESS
SET**

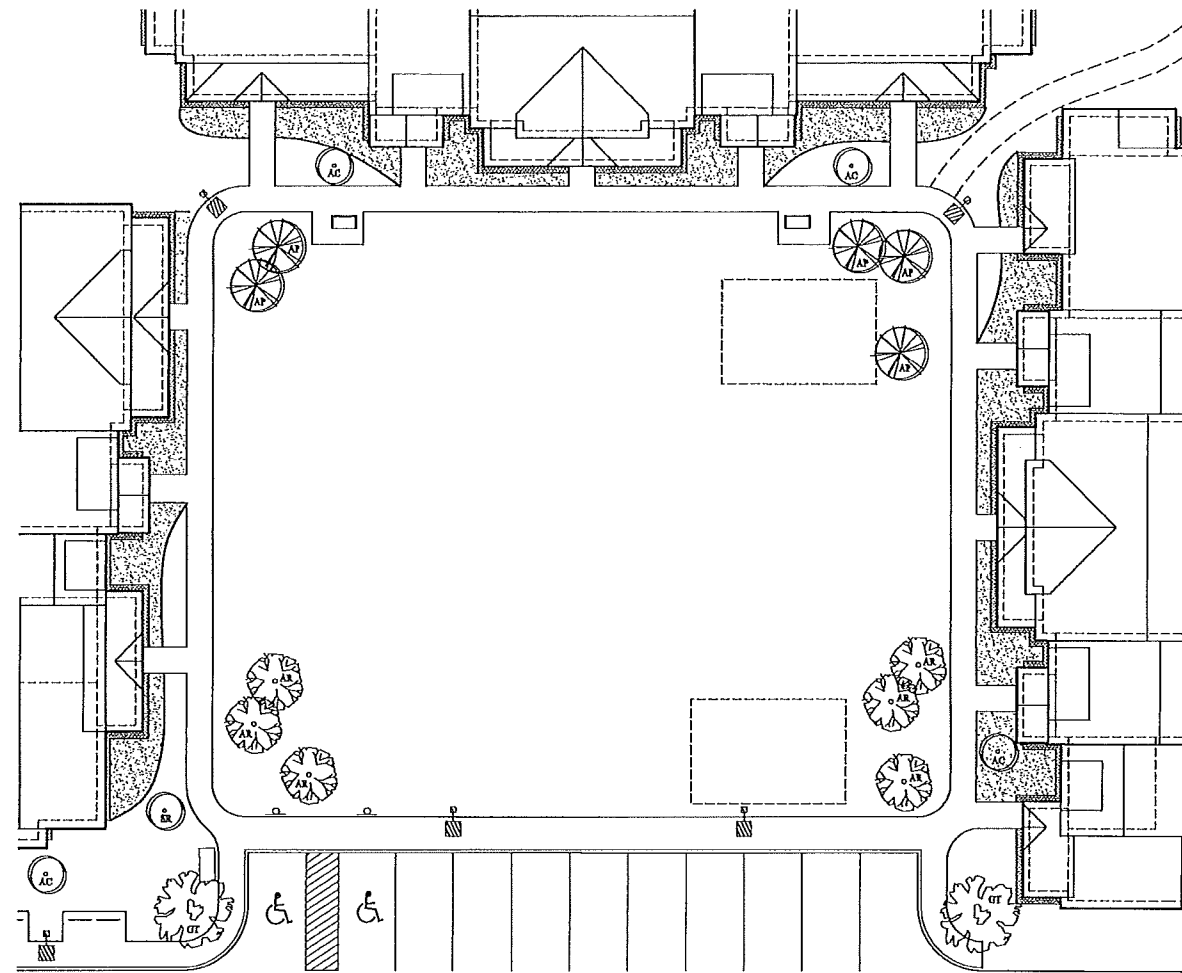
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CONSTRUCTION**

DATE: 1.16.17

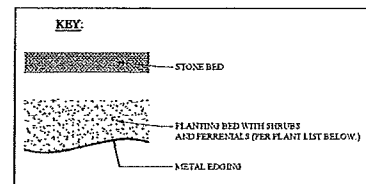
REVISIONS

**LANDSCAPE
PLAN**

L-1

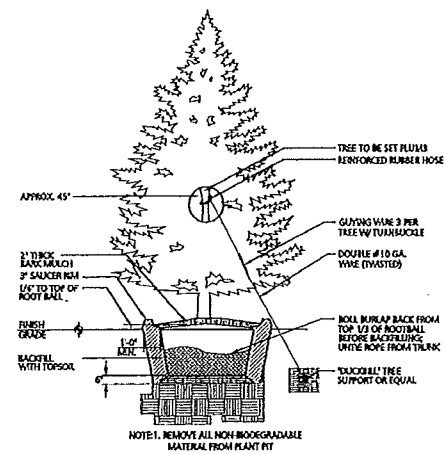


6 ALTERNATE PLANTING PLAN @ COURTYARD SPACE
SCALE: 1" = 10'

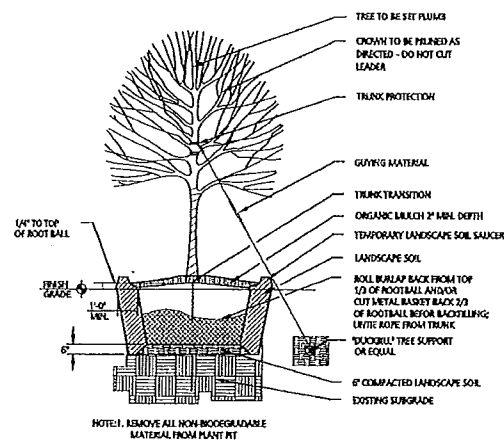


ALTERNATE PLANT LIST FOR COURTYARD					
Key	Botanical Name	Common Name	Qty	Size	Spacing
SHURBS and PERENNIALS					
CB	<i>Cornus sericea</i> 'Halley'	Red Twig Dogwood	5	12" to 18"	3' to 4' O.C.
CR	<i>Cornus racemosa</i>	Grey Dogwood	5	12" to 18"	3' to 4' O.C.
CA	<i>Clethra alifolia</i>	White Summertree	5	12" to 18"	3' to 4' O.C.
CAH	<i>Clethra alifolia</i> 'Hemlockhill'	Dwarf Summertree	5	12" to 18"	3' to 4' O.C.
IVJ	<i>Viburnum acerifolium</i> 'Vim Dandy'	Winterberry	5	12" to 18"	3' to 4' O.C.
RA	<i>Ribes sibiricum</i> 'Crisp-Low'	Crisp-Low Spirea	20	12"	3' to 4' O.C.
HQ	<i>Hemerocallis citrina</i>	Daylily	20	1 gal. pot	3' to 4' O.C.

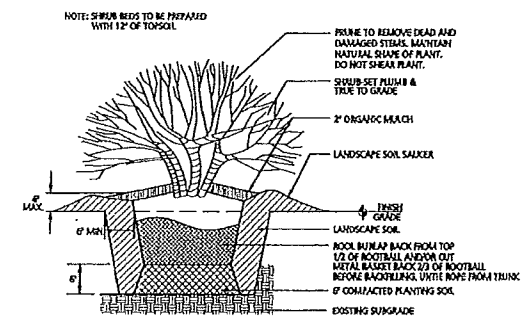
5 EVERGREEN TREE PLANTING DETAIL
SCALE: N.T.S.



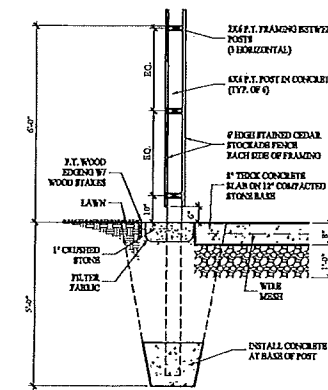
4 DECIDUOUS TREE PLANTING DETAIL
SCALE: N.T.S.



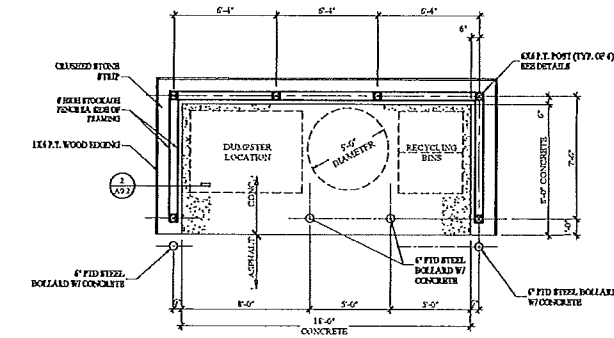
3 SHRUB PLANTING DETAIL
SCALE: N.T.S.



2 DUMPSTER ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



PUTNEY LANDING APARTMENTS & NOYBS HOUSE RENOVATION

PUTNEY, VT

OWNER:
Putney Landing Limited Partnership
c/o Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 653-4424

CO-DEVELOPERS:
Housing Vermont
100 Bank Street #400
Burlington, VT 05401
Phone: (802) 653-4424

Win-Shun & Windsor Housing Trust
42 Edge Street
Brattleboro, VT 05301
Phone: (802) 246-2113

ARCHITECT:
S2 Architecture
5224 Shelburne Rd.
Shelburne, VT 05487
Phone: (802) 955-5555

CIVIL ENGINEER:
Stevens and Associates
55 Main Street
Brattleboro, VT 05302
Phone: (802) 253-9329

STRUCTURAL ENGINEER:
Knight Consulting Engineers, Inc.
51 Knight Lane
Williston, VT 05493
Phone: (802) 579-6313

MECHANICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-8201

ELECTRICAL ENGINEER:
Engineering Services of Vermont, LLC
9 Washington Street
Rutland, VT 05701
Phone: (802) 855-8201

75% CD PROGRESS SET

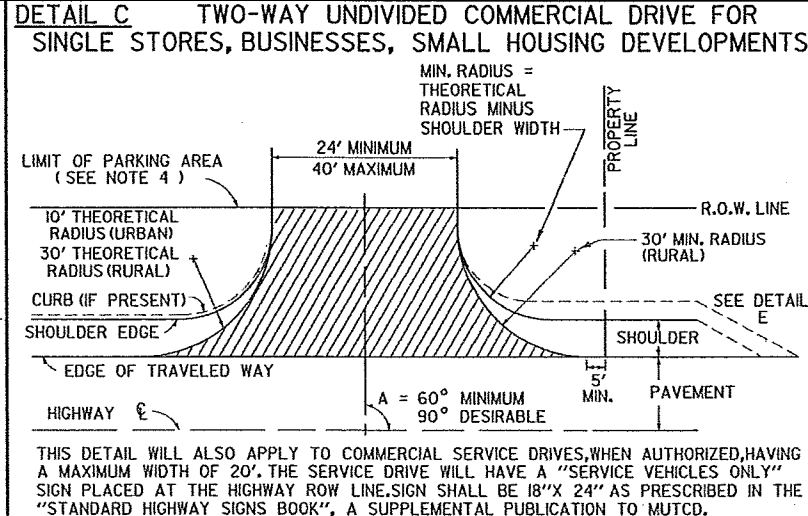
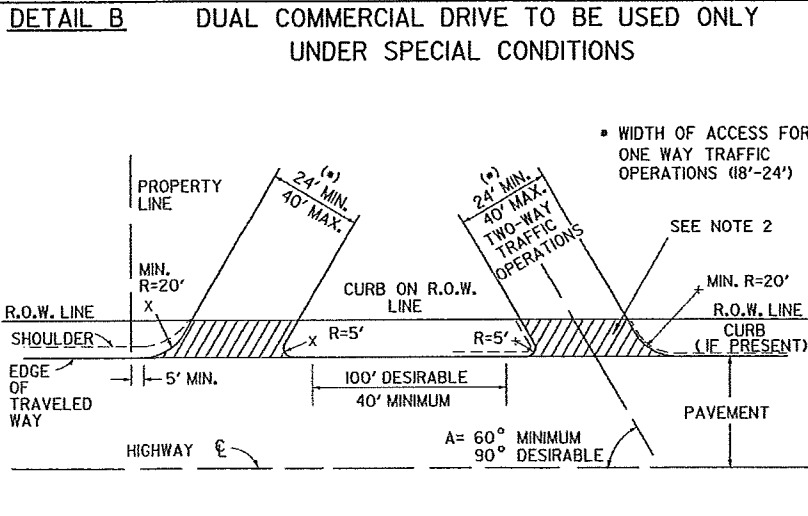
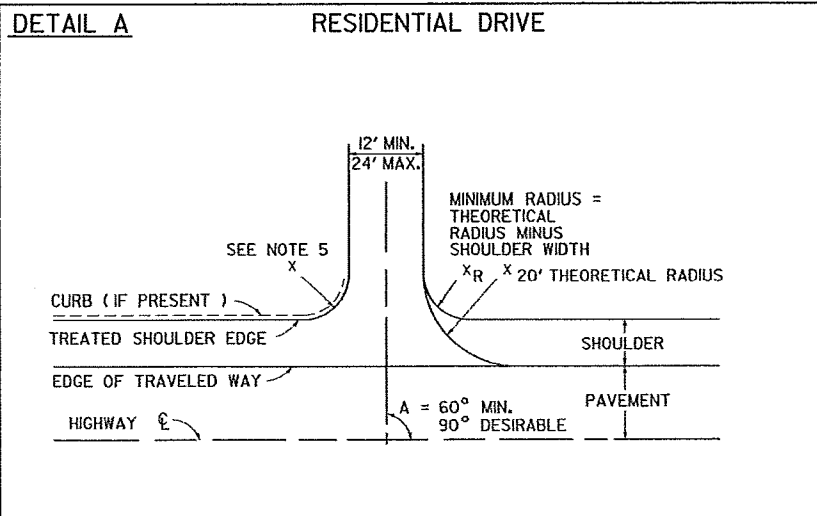
NOT FOR CONSTRUCTION

DATE: 1.16.17

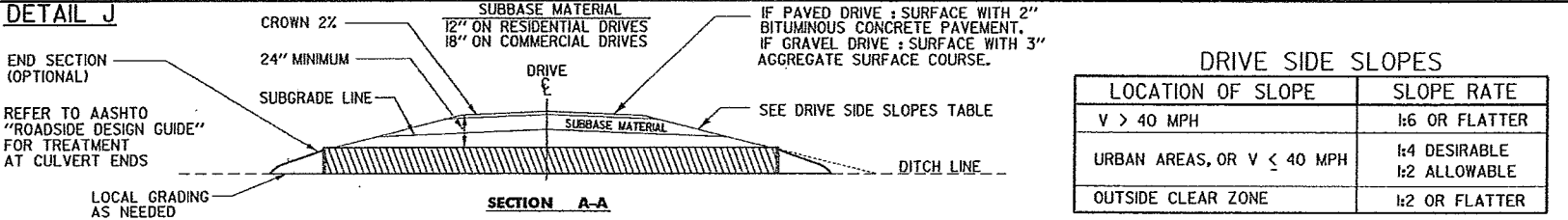
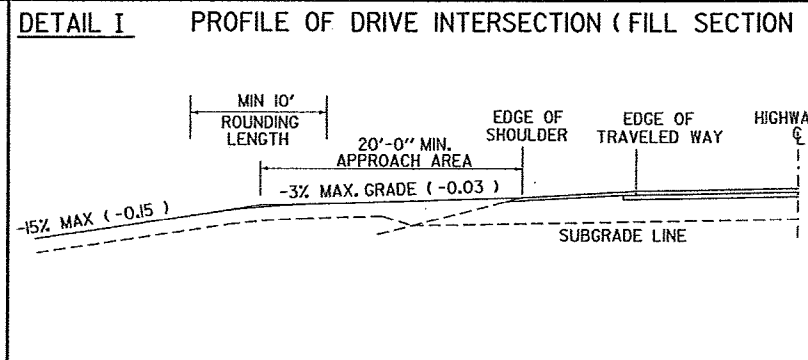
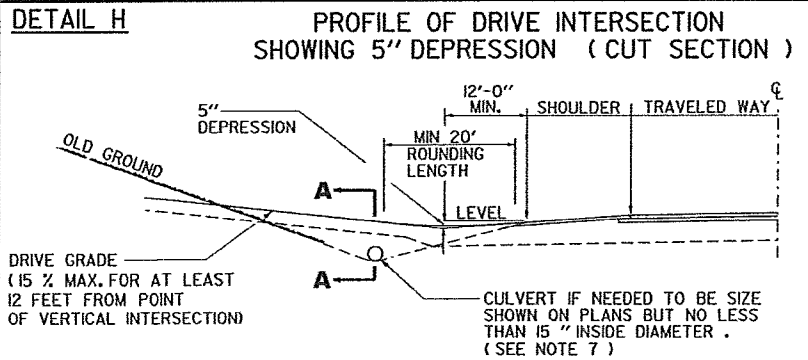
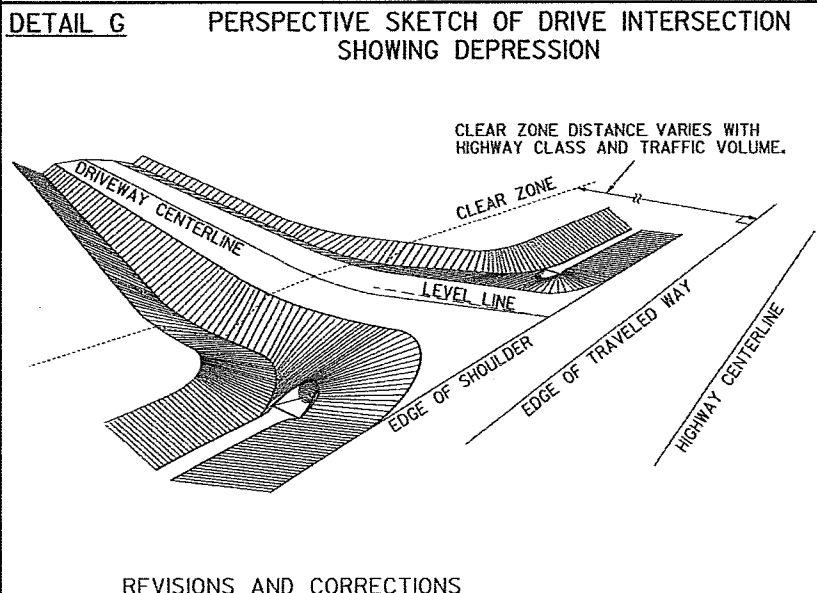
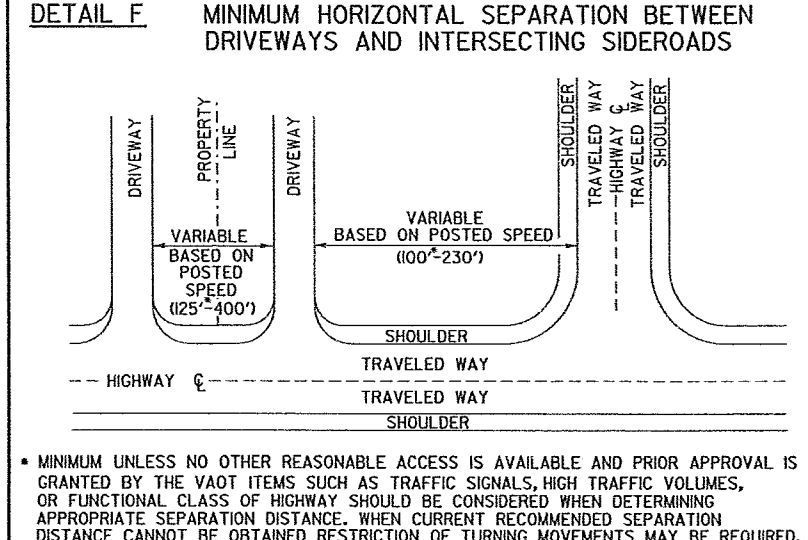
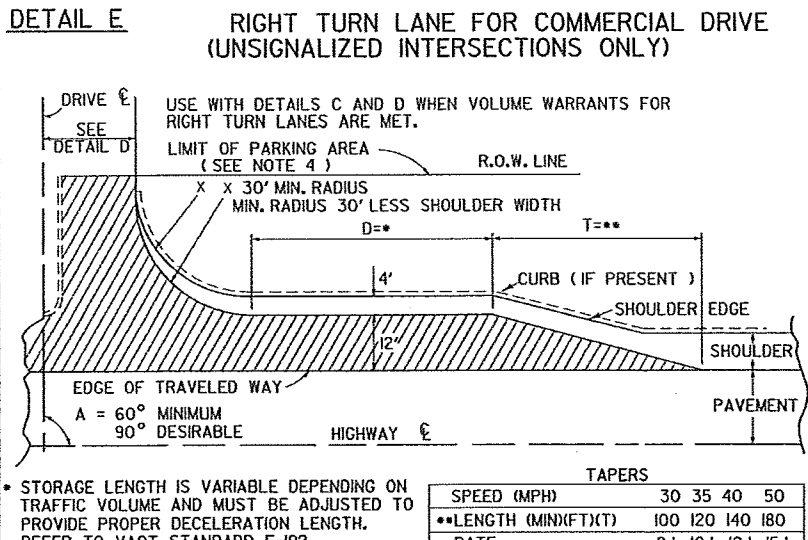
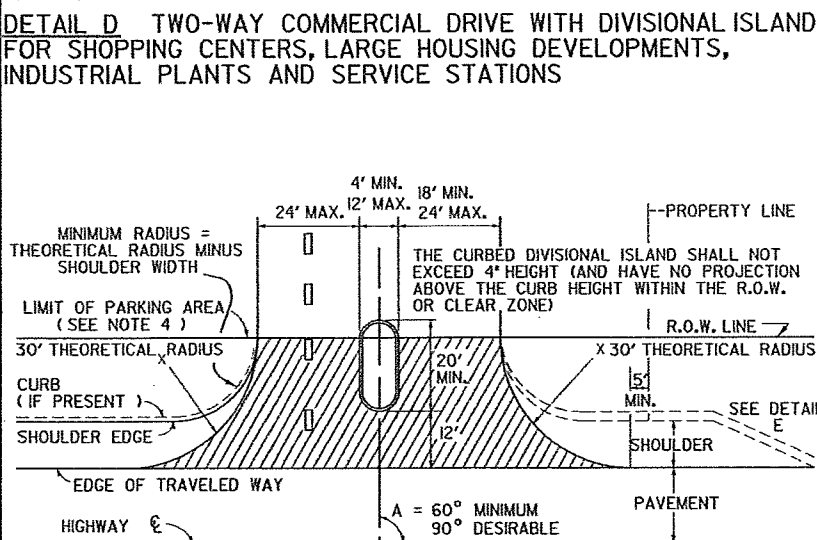
REVISIONS

LANDSCAPE DETAILS

L-2



- NOTES:
- THIS SHEET IS INTENDED FOR USE BY DESIGNERS ON HIGHWAY PROJECTS AND IN CONJUNCTION WITH A PERMIT FOR WORK WITHIN HIGHWAY RIGHTS OF WAY (FORM TA 210). ALL CONSTRUCTION REQUIRED BY THE PERMIT AND INDICATED ON THIS SHEET SHALL BE THE RESPONSIBILITY OF THE APPLICANT AND IS SUBJECT TO THE APPROVAL OF THE VT. AGENCY OF TRANSPORTATION. WHEN USED WITH THE PLANS FOR A HIGHWAY CONSTRUCTION PROJECT, THIS SHEET IS INTENDED TO BE A GUIDE FOR THE DESIGNER CONCERNING DRIVE WIDTHS, HORIZONTAL, VERTICAL AND GEOMETRIC CHARACTERISTICS.
 - ALL COMMERCIAL DRIVES SHALL BE PAVED FROM THE EDGE OF THE TRAVELED WAY TO THE HIGHWAY RIGHT-OF-WAY, TO THE FARTHEST POINT OF CURVATURE ON THE DRIVEWAY EDGE OR AS DIRECTED BY THE DISTRICT TRANSPORTATION ADMINISTRATOR. THIS PAVING IS INDICATED IN DETAILS (B THRU E) BY HATCHING.
 - DEPTH OF SUBBASE AND PAVEMENT TO BE THE SAME AS HIGHWAY OR AS SHOWN IN DETAIL J WITHIN THE LIMITS OF THE HIGHWAY RIGHT-OF-WAY.
 - VEHICULAR ACCESS FROM PARKING AREAS TO THE RIGHT-OF-WAY AT OTHER THAN APPROVED ACCESS POINTS WILL BE PREVENTED BY THE CONSTRUCTION OF CURBING OR OTHER SUITABLE PHYSICAL BARRIER.
 - IF CURB IS PRESENT, SEE APPROPRIATE CURB DETAIL STANDARD OR MATCH TOWN/CITY STANDARD CURB TREATMENT.
 - WHERE TRAFFIC VOLUME FOR A PROJECT IS SUBSTANTIAL THE AGENCY MAY REQUIRE SPECIAL LANES FOR TURNING SIGNALS OR OTHER MODIFICATIONS. BASED ON TRAFFIC STUDIES THE AGENCY WILL DETERMINE SPECIFIC TREATMENT TO BE USED. ON DEVELOPER PROJECTS THE AGENCY WILL WORK WITH THE APPLICANT TO IMPLEMENT CHANGES TO THE STATE HIGHWAY.
 - CIRCULAR DRAINAGE CULVERTS UNDER DRIVES SHALL HAVE A MINIMUM INSIDE DIAMETER (I.D.) OF 15". PIPE ARCHES USED UNDER DRIVES SHALL HAVE A MINIMUM INSIDE CROSS-SECTIONAL AREA EQUIVALENT TO THAT PROVIDED BY A 15" CIRCULAR PIPE.
 - THE OFFSET BETWEEN THE PROPERTY LINE AND THE EDGE OF THE DRIVEWAY MAY BE GOVERNED BY LOCAL ZONING LAWS. DRIVEWAY WIDTH RESTRICTIONS SHOWN PERTAIN ONLY TO THE AREA WITHIN THE HIGHWAY R.O.W. OR THE END OF THE TURNING RADIUS WHICHEVER IS GREATEST.
 - DRIVEWAY GRADES STEEPER THAN THOSE SHOWN MAY BE ALLOWED AS LONG AS A 20' APPROACH AREA IS ACHIEVED FOR THE VEHICLE TO PAUSE BEFORE ENTERING THE HIGHWAY. (WHERE CURB & SIDEWALKS EXIST, SEE STANDARDS C-2A & C-2B)
 - INTERSECTION SIGHT DISTANCES, EQUAL TO OR GREATER THAN THOSE SHOWN BELOW, SHOULD BE PROVIDED IN BOTH DIRECTIONS FOR ALL DRIVES ENTERING ON PUBLIC HIGHWAYS, UNLESS OTHERWISE APPROVED BY THE AGENCY OF TRANSPORTATION. INTERSECTION SIGHT DISTANCE IS MEASURED FROM A POINT ON THE DRIVE AT LEAST 15 FEET FROM THE EDGE OF TRAVELED WAY OF THE ADJACENT ROADWAY AND MEASURED FROM A HEIGHT OF EYE OF 3.5 FEET ON THE DRIVE TO A HEIGHT OF 3.50 FEET ON THE ROADWAY.



SIGHT DISTANCE CHART

POSTED SPEED OR DESIGN SPEED (M.P.H.)	MINIMUM STOPPING SIGHT DISTANCE (FT)	MINIMUM INTERSECTION SIGHT DISTANCE (FT)
25	155	280
30	200	335
35	250	390
40	305	445
45	360	500
50	425	555
55	495	610
60	570	665
65	645	720

THE ABOVE VALUES ARE TAKEN FROM THE 2004 AASHTO "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS & STREETS."

NOTE: ADVANCE WARNING SIGNS WILL BE REQUIRED IF OBTAINABLE INTERSECTION SIGHT DISTANCES ARE BELOW MINIMUM STOPPING SIGHT DISTANCES.

THE CHART IS ENTERED TO SELECT DESIGN VALUES BASED ON THE POSTED SPEED LIMIT IN MPH. VALUES FOR DESIGN ARE CALCULATED BASED ON THE DESIGN SPEED IN MPH.

* ASSUMES A GAP OF 7.5 SECONDS IN THE TRAFFIC STREAM ON THE HIGHWAY MAINLINE BASED ON THE HIGHWAY DESIGN SPEED IN MPH. THIS ALLOWS A STOPPED PASSENGER VEHICLE TO ENTER THE MAINLINE FROM THE DRIVE WITHOUT UNDULY INTERFERING WITH THE HIGHWAY OPERATIONS.

REVISIONS AND CORRECTIONS

DEC. 11, 1992 - THIS STANDARD SUPERCEDES B-71(7/23/80R), B-71A (3/12/90), AND B-13 (12/14/71).

JUNE 1, 1994 - REISSUED, WITHOUT CHANGE, UNDER NEW SIGNATURES.

MAR. 10, 1995 - REISSUED, WITHOUT CHANGE, UNDER NEW SIGNATURES.

NOV. 16, 2000 - CHANGES MADE TO CONFORM WITH LANGUAGE AND DIMENSIONS IN ACCESS MANAGEMENT PROGRAM GUIDELINES.

FEB 1, 2004 - CHANGES MADE TO SIGHT DISTANCE CHART TO CONFORM WITH NEWEST AASHTO CRITERIA.

JULY 8, 2005 - CHANGE MADE TO OBJECT HEIGHT TO CONFORM WITH NEWEST AASHTO CRITERIA

APPROVED

Richard F. Farnsworth
DIRECTOR OF PROGRAM DEVELOPMENT

Wray S. Kelly
CHIEF OF UTILITIES AND PERMITS

Michael Conner
FEDERAL HIGHWAY ADMINISTRATION

STANDARDS FOR RESIDENTIAL AND COMMERCIAL DRIVES

